



## CITY OF PRINCE ALBERT

### AQUATIC & ARENAS RECREATION PROJECT STEERING COMMITTEE REGULAR MEETING

# AGENDA

**WEDNESDAY, JANUARY 10, 2024, 4:00 PM  
COUNCIL CHAMBER, CITY HALL**

#### **1. CALL TO ORDER**

#### **2. APPROVAL OF AGENDA**

#### **3. DECLARATION OF CONFLICT OF INTEREST**

#### **4. APPROVAL OF MINUTES**

- 4.1 June 26, 2023 Aquatic & Arenas Recreation Project Steering Committee Meeting Minutes for Approval (MIN 23-64) **Page 1**

#### **5. COMMUNICATIONS & DELEGATIONS**

- 5.1 Aquatic and Arenas Recreation Centre Construction Update - June, July, August, September and October 2023 (CORR 23-77) **Page 5**
- 5.2 Aquatic & Arenas Recreation Centre Construction Monthly Update November 2023 - AECOM Canada Ltd. (CORR 24-2) **Page 114**
- 5.2.1 Aquatic & Arenas Recreation Centre Construction Monthly Update December 2023 and Project Budget - AECOM Canada Ltd. (CORR 24-7) **Page 130**

Verbal Presentation: Trevor Woiden, P. Eng., AECOM Canada Ltd.

## **6. REPORTS OF ADMINISTRATION & COMMITTEES**

6.1 Aquatic and Arenas Recreation Centre Accessibility Features (RPT 23-405)

**Page 151**

## **7. UNFINISHED BUSINESS**

## **8. ADJOURNMENT**



City of  
**Prince Albert**

***MIN 23-64***

**MOTION:**

That the Minutes for the Aquatic & Arenas Recreation Project Steering Committee Regular & Incamera Meetings held June 26, 2023, be taken as read and adopted.

**ATTACHMENTS:**

1. Regular Minutes
2. Incamera Minutes



## **CITY OF PRINCE ALBERT**

### **AQUATIC & ARENAS RECREATION PROJECT STEERING COMMITTEE REGULAR MEETING**

# **MINUTES**

**MONDAY, JUNE 26, 2023, 4:03 P.M.  
COUNCIL CHAMBER, CITY HALL**

**PRESENT:** Mayor Greg Dionne  
Councillor Don Cody  
Councillor Dennis Ogradnick  
Councillor Blake Edwards  
Councillor Dawn Kilmer  
Councillor Darren Solomon

Terri Mercier, City Clerk  
Sherry Person, City Manager  
Michael Nelson, Chief Building Official  
Nykol Miller, Capital Projects Manager  
Kiley Bear, Director of Corporate Services  
Jody Boulet, Director of Community Services  
Jeff Da Silva, Acting Director of Public Works  
Wilna Furstenberg, Communications Coordinator  
Craig Guidinger, Director of Planning and Development Services

#### **1. CALL TO ORDER**

Mayor Dionne, Chairperson, called the meeting to order.

## **2. APPROVAL OF AGENDA**

0009. **Moved by:** Councillor Edwards

That the Agenda for this meeting be approved, as presented, and, that the presentations, delegations and speakers listed on the Agenda be heard when called forward by the Chair.

Absent: Councillors Lennox-Zepp and Head

**CARRIED**

## **3. DECLARATION OF CONFLICT OF INTEREST**

## **4. ADOPTION OF MINUTES**

0010. **Moved by:** Councillor Kilmer

That the Minutes for the Aquatic & Arenas Recreation Project Steering Committee Regular Meeting and Incamera Meeting held April 27, 2023, be taken as read and adopted.

Absent: Councillors Lennox-Zepp and Head

**CARRIED**

## **5. CORRESPONDENCE & DELEGATIONS**

5.1 Aquatic and Arenas Recreation Centre Construction Update – April and May 2023 (CORR 23-47)

Verbal Presentation was provided by Trevor Woiden, P.Eng., AECOM Canada Ltd.

0011. **Moved by:** Councillor Kilmer

That CORR 23-47 be received as information and filed.

Absent: Councillors Lennox-Zepp and Head

**CARRIED**

5.2 AECOM Quarterly Construction Update (CORR 23-48)

Verbal Presentation was provided by Trevor Woiden, P.Eng., AECOM Canada Ltd.

0012. **Moved by:** Councillor Solomon

That CORR 23-48 be received as information and filed.

Absent: Councillors Lennox-Zepp and Head

**CARRIED**

**6. REPORTS OF ADMINISTRATION & COMMITTEES**

**7. UNFINISHED BUSINESS**

**8. ADJOURNMENT – 4:35 P.M.**

0013. **Moved by:** Councillor Kilmer

That this Committee do now adjourn.

Absent: Councillors Lennox-Zepp and Head

**CARRIED**

MAYOR GREG DIONNE      CITY CLERK  
CHAIRPERSON

MINUTES ADOPTED THIS 8<sup>TH</sup> DAY OF NOVEMBER, A.D. 2023.



City of  
**Prince Albert**

**CORR 23-77**

**TITLE:** Aquatic and Arenas Recreation Centre Construction Update - June, July, August, September and October 2023

**DATE:** **November 1, 2023**

**TO:** Aquatic & Arenas Recreation Project Steering Committee

**PUBLIC:** X

**INCAMERA:**

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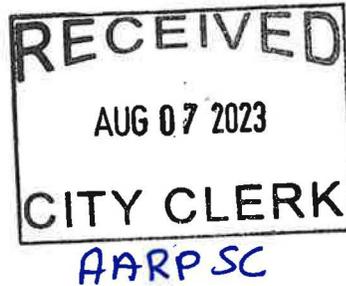
**SUGGESTED DISPOSITION:**

That the Correspondences be received as information and filed.

**ATTACHMENTS:**

1. Memo dated July 28, 2023
2. Memo dated August 2, 2023
3. Memo dated September 11, 2023
4. Memo dated October 5, 2023
5. Memo dated November 2, 2023

Written by: Trevor Woiden, P.Eng., AECOM Canada Ltd.



AECOM Canada Ltd.  
200 – 2100 8th Street  
Saskatoon, SK S7H 0V1  
Canada

T: 639.638.8150  
F: 306.700.2428  
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**Project name:**  
Aquatic and Arenas Recreation Centre

**Project ref:**  
60642853

**From:**  
Trevor Woiden, P.Eng.

**Date:**  
July 28 2023

**To:**  
City of Prince Albert-Aquatic and Arenas  
Recreation Centre Steering Committee

**CC:**  
Nykol Miller, Capital Projects Manager

# Memo

**Recommended  
Disposition:**

Info & File

**Subject: AARC Construction Update – June 2023**

The following work was completed in the month of June:

## Arenas:

- Metal decking was completed in the South Arena.
- Parapet framing and boarding was completed on South Arena.
- Vapour barrier, T clips and L angles were installed on South and East elevations.
- Most of the PVC roofing above the South Arena was completed in June.
- Caulking of available precast panels began.
- Backfill and rough grade adjacent to the South Arena was completed.
- Mechanical and electrical roughins continued. This includes underslab piping in the mech/elec rooms and in wall masonry roughins.
- Interceptor pit was installed in Resurfacer room.
- Poured SOG in mechanical and electrical rooms, as well as the east exit stairwell.
- Masonry walls were completed in the North Arena change rooms and continued into the South Arena into July.
- Hollowcore was installed in the North Arena.

## Lobby:

- Structural steel was completed.
- Metal roof decking continued. Decking to second floor was installed and prep for topping slab progressed.
- Exterior precast sandwich and veneer panels were installed on Gridline 7'.
- Curtainwall framing and glazing to unit ESC014 at South end was installed.

- Exterior fascia and soffit framing was completed along gridline 7'.
- Curtainwall framing install began along gridline 7' (ESC001).
- Parapet and skylight framing was completed on the South half of the Lobby.
- PVC roofing began over the Lobby at the end of June.
- Backfill to underside of granular base layer was completed on interior of Lobby.
- Electrical and Mechanical below grade services in progress.

### Aquatics:

- Structural Steel installation continued. By the end of June, the large trusses over the pool area were installed. All Aquatics steel has now arrived on site.
  - Precast veneer panel installation continued.
  - Metal decking over the flat roof was installed.
  - Void form, poly and void protection board installed in the wave pool as well as pool piping and rebar. The wave pool slab was poured on June 26.
  - Rubbing of concrete walls and soffit in the basement was completed.
  - Backfill on the exterior of the Aquatics area continued.
  - Underslab mechanical and electrical services began in the change room area.
  - Water tightness test of lap pool was completed.
  - Backfill was completed around the lap pool.
  - Blue duct (buried) installation began on east side of lap pool.
  - Install of scaffolding in the lap pool for a temporary access platform began.
- 
- There were 2 lost days in June due to heavy rain fall creating unsuitable conditions for structural steel work. No extension to project end date is forecasted.
  - Safety; 283 safety orientations to date, 3 minor incidents. 0 Major/Serious incidents. 3 minor near miss.
  - Labour; 16,926 hours in June, 82,279 hours to date.
  - May 2023 progress certificate has been processed by the City.
  - Requests for Information (RFI's); Issued – 257, Resolved – 245
  - Site Instructions; Issued – 61
  - Proposed Change Notices (PCN); Issued – 62
  - Submittals; Issued – 196, Resolved - 176
  - Site Photos attached.
-

The following work is planned for July:

- Structural Steel to proceed in North Arena. All other areas to be completed.
- Metal decking to be completed in Lobby and continue in Aquatics.
- Roofing to continue in Lobby area.
- 2nd floor lobby slab to be poured.
- Masonry installation to continue in South Arena.
- Pool piping below lazy river and surrounding lap pool to be installed and concrete encased.
- Lazy River slab to be formed and poured.
- Electrical and Mechanical rough ins to continue in all areas.
- Precast wall panel installation to continue in Aquatics.
- Aluminum curtainwall framing and glazing to continue in Lobby and Aquatics.
- Slab prep in Aquatics change rooms to continue.
- Housekeeping pads in Aquatics to be poured.
- Mechanical/Electrical/Pool rough ins in Aquatics basement to begin.
- Exterior steel stud and boarding to continue in available areas.
- Site utility installation to continue.



























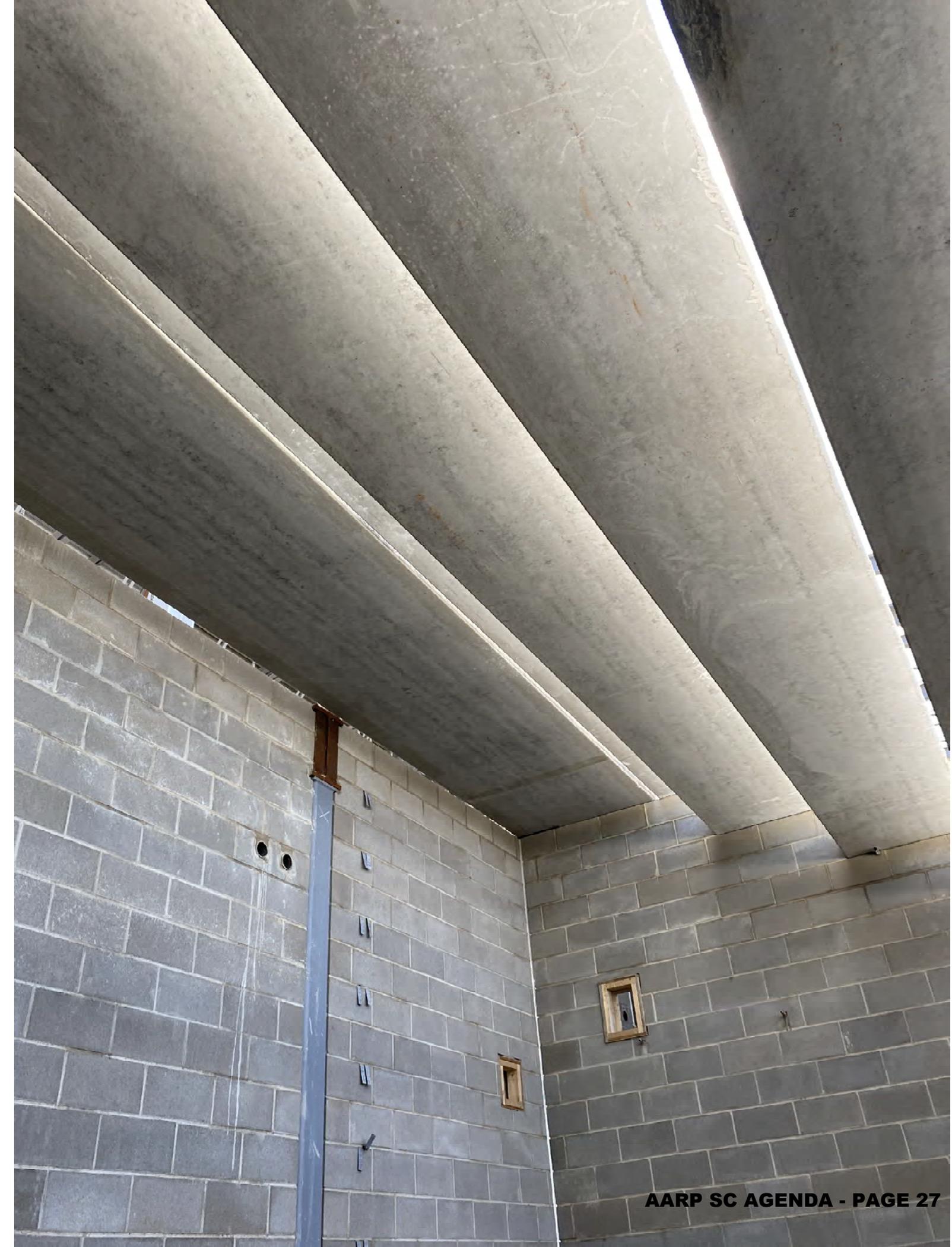
















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CITY CLERK  
AARP SC

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T: 639.638.8150  
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**Project name:**  
Aquatic and Arenas Recreation Centre

**Project ref:**  
60642853

**From:**  
Trevor Woiden, P.Eng.

**Date:**  
August 2 2023

**To:**  
City of Prince Albert-Aquatic and Arenas  
Recreation Centre Steering Committee

**CC:**  
Nykol Miller, Capital Projects Manager

# Memo

**Recommended  
Disposition:**

Info & File

**Subject: AARC Construction Update – July 2023**

The following work was completed in the month of July:

## Arenas:

- Structural steel for north arena began – east stairway area.
- Vapour barrier, T clips and L angles, and insulation installation continued.
- PVC roofing above the South Arena was completed.
- Mechanical and electrical rough-ins continued. Some ductwork and plumbing is in progress in change rooms.
- Storm drainage system install began in south arena.
- Poured remaining SOG in ice resurfacer/mechanical areas.
- Masonry walls mostly complete for both bleachers.
- Hollowcore was installed in the North Arena and mechanical/electrical areas.
- First load of topping slab was poured for north arena bleachers.

## Lobby:

- Stairs ST03 were delivered and installed.
- Roofing mostly complete.
- 2nd Floor slab was poured.
- Below grade plumbing and electrical installed.
- Elevator hoist beam installed.
- Exterior precast sandwich and veneer panels were installed.

- Curtainwall framing was installed for main floor.
- Vapour barrier, T clips and L angles, insulation installation began.
- Exterior fascia and soffit framing was completed along gridline 7'.
- Parapet and skylight framing was completed on the South half of the Lobby.
- Backfill to underside of granular base layer was completed on interior of Lobby and slab-on-grade concrete preparation began.

### Aquatics:

- Structural Steel continued. Most structure is in place with infill piece install in progress.
- Precast veneer panel installation continued in available areas.
- Mechanical Roof area metal decking installed and roof slab poured.
- Lazy River encasement was poured
- Wave pool and Lazy River slab were poured.
- Housekeeping pads were poured for basement mechanical.
- Underslab mechanical and electrical services in the change room area continued.
- Blue duct (buried) installation continued.
- Install of scaffolding in the lap pool platform.
- Competition Pool piping continued and encasement preparation.
- Slide Runout slab poured.

### Exterior:

- Utility Installation continued.
- Light pole bases install began

- 
- There were 1 lost day in July due to wet conditions affecting structural steel work. No extension to project end date is forecasted.
  - Safety; 305 safety orientations to date, 3 minor incidents. 1 Major/Serious incidents. 3 minor near miss.
  - Labour; 15,737 hours in July, 98,016 hours to date.
  - June 2023 progress certificate has been processed by the City.
  - Requests for Information (RFI's); Issued – 278, Resolved – 266
  - Site Instructions; Issued – 61
  - Proposed Change Notices (PCN); Issued – 72
  - Submittals; Issued – 206, Resolved - 190
  - Site Photos attached.

The following work is planned for August:

- Structural Steel to focus on North Arena.
- Metal decking to be completed in Aquatics for 2nd floor interior mechanical space.
- Roof decking and PVC roofing to begin in Aquatics.
- Masonry installation to be completed in Arena.
- Pool piping below hot tub to begin.
- Piping surrounding lap pool to be completed and concrete encased.
- Wave pool/lazy river walls to be formed and poured.
- Electrical and Mechanical rough ins to continue in all areas.
- Precast wall panel installation to continue in available areas.
- Aluminum curtainwall framing and glazing to continue.
- Slab prep in Aquatics change rooms and lobby to continue.
- Exterior steel stud, boarding, insulation to continue in available areas.







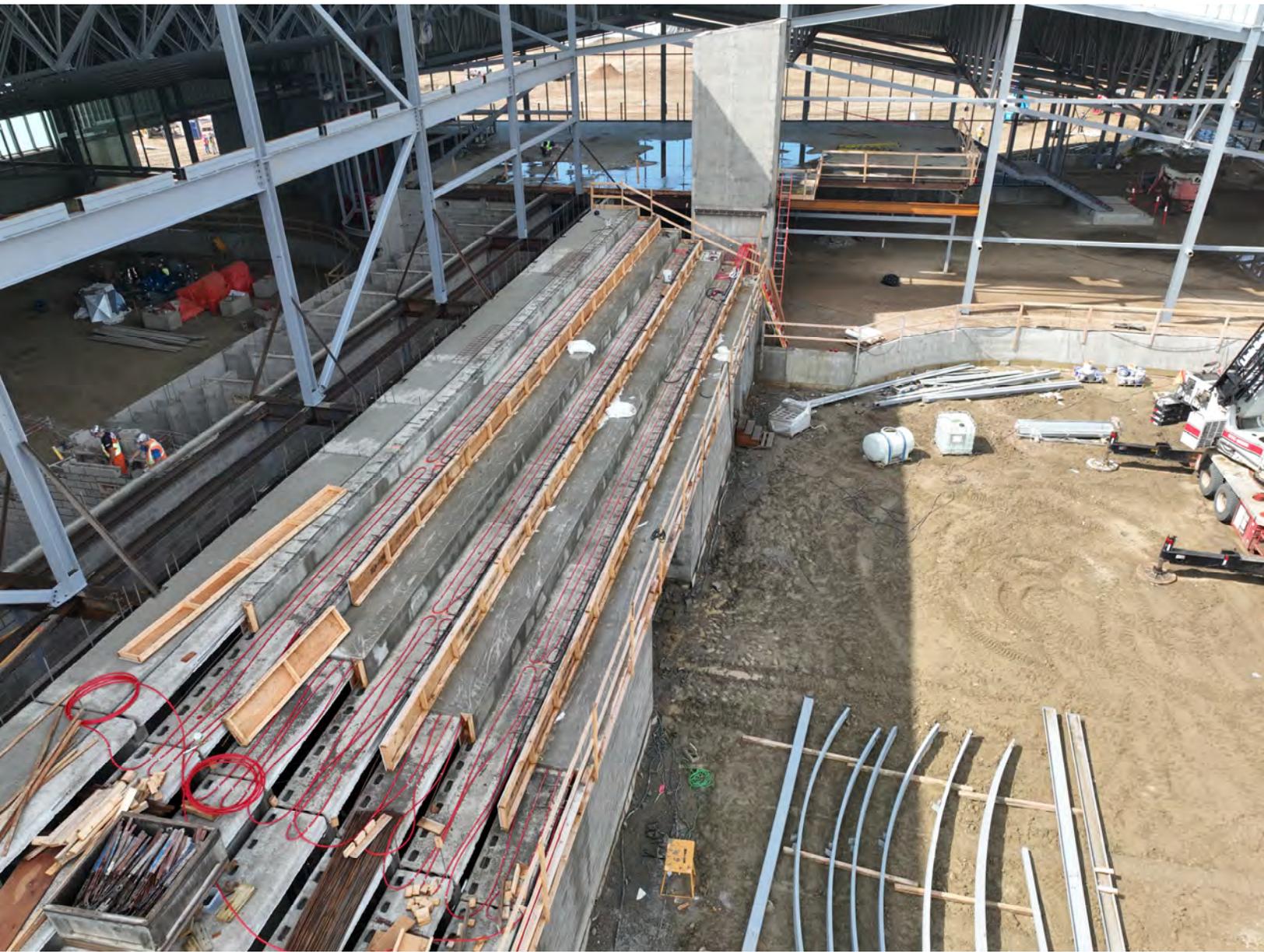




























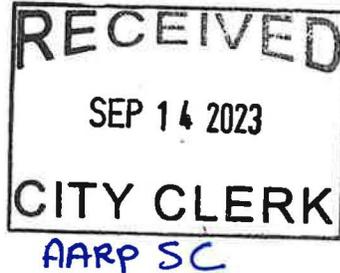












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**Project name:**  
Aquatic and Arenas Recreation Centre

**Project ref:**  
60642853

**From:**  
Trevor Woiden, P.Eng.

**Date:**  
September 11, 2023

**To:**  
City of Prince Albert-Aquatic and Arenas  
Recreation Centre Steering Committee

**CC:**  
Nykol Miller, Capital Projects Manager

**Recommended  
Disposition:**

Info & File

# Memo

**Subject: AARC Construction Update – August 2023**

The following work was completed in the month of August:

## Arenas:

- Structural steel for north arena mostly complete.
- Vapour barrier, T clips and L angles, and insulation installation continued.
- Mechanical and electrical rough-ins continued. Ductwork and plumbing continued in change rooms and south arena.
- Stevenson (Ice Refrigeration) equipment was placed and plumbing work began in mechanical spaces.
- Masonry walls were mostly completed.
- Remaining hollowcore was installed. Forming for topping slab and risers continued on north side.
- Air Handler 7 was placed on mechanical roof.

## Lobby:

- Parapet and skylight framing was completed.
- Glazing frames and glazing work continued.
- Precast veneer panel install completed.
- Steel stud soffit framing continued.
- Mechanical above ceiling roughins began, including sprinkler roughins in the overhang.
- Slab preparation began for initial pour.
- Above grade plumbing and sprinkler work began.
- Stairs ST04 were delivered and installed.

## Aquatics:

- Structural Steel continued. Most structure is in place with infill piece install in progress.
- Exterior steel stud and boarding continued.
- Aluminum framing and glazing (ESC 011, 007, 009) progressed.
- Precast veneer panel installation continued and is mostly complete.
- Metal decking installed to roof and 2nd floor mechanical space.
- Parapet framing is mostly complete except for north elevation.
- Roofing install commenced on the south portion of Aquatics.
- Below grade pool piping continued with encasement preparation.
- 2nd floor mechanical space concrete slab poured.
- Housekeeping pads were poured for 2nd floor mechanical.
- Masonry began on 2nd floor mechanical.
- Underslab mechanical and electrical services in the change room area completed.
- Slab preparation for change areas was completed.
- Blue duct (buried) installation continued.
- AHU-2 was installed in the basement.
- Pool filters were delivered to site and set in the basement.

## Exterior:

- Utility Installation continued.
- West side roadwork and parking lot granulars began.
- Backfilling to grade continued.
- Formed and poured exterior entrance slabs and generator pad

- 
- There were 4 lost days in August due to wet conditions affecting structural steel work and slower site progress. No extension to project end date is forecasted.
  - Safety; 324 safety orientations to date, 3 minor incidents. 1 Major/Serious incidents. 3 minor near miss.
  - Labour; 16,108 hours in August, 114,124 hours to date.
  - August 2023 progress certificate has been processed by the City.
  - Requests for Information (RFI's); Issued – 305, Resolved – 293
  - Site Instructions; Issued – 65
  - Proposed Change Notices (PCN); Issued – 80

- Submittals; Issued – 219, Resolved - 208
  - Site Photos attached.
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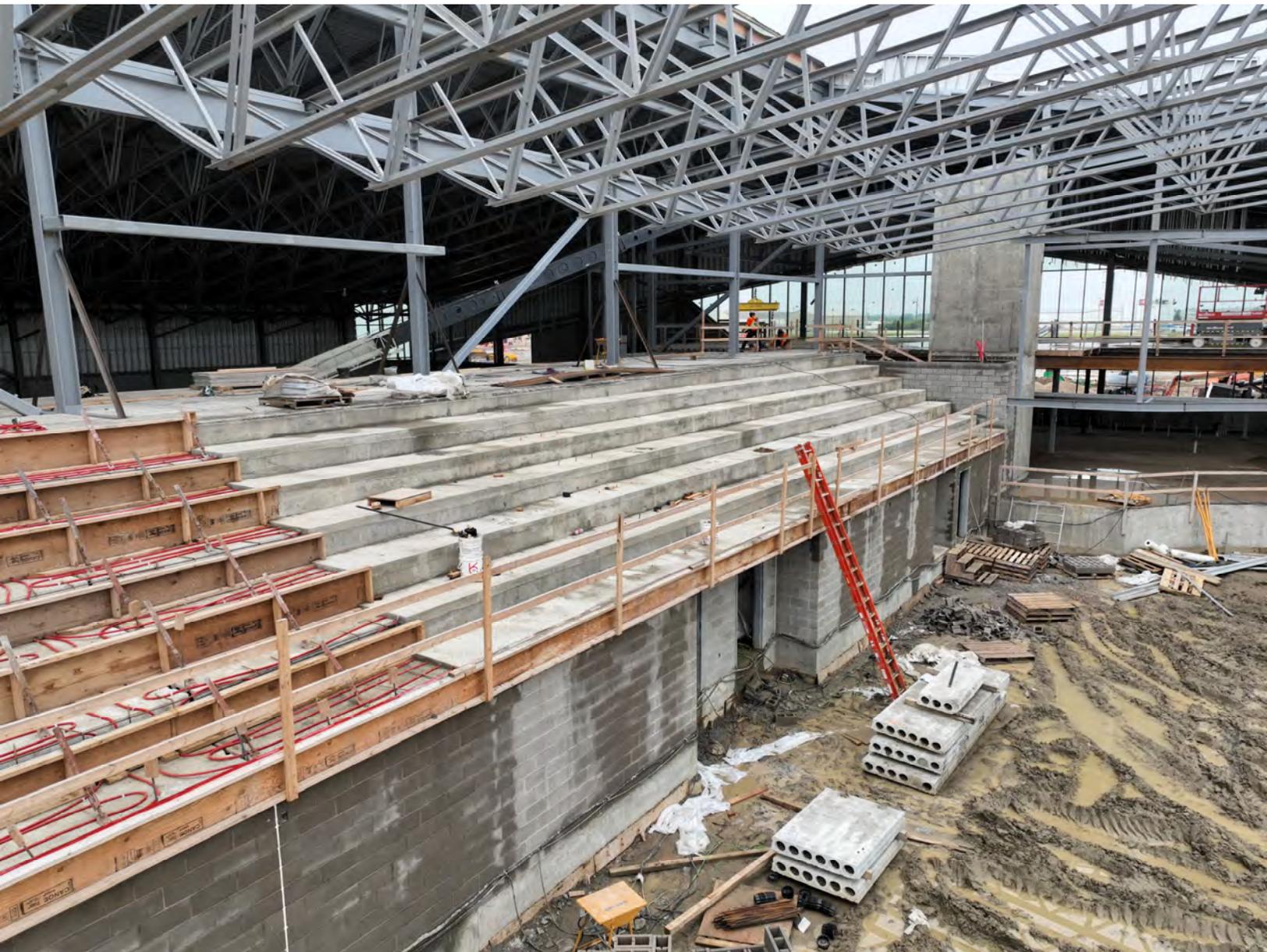
The following work is planned for September:

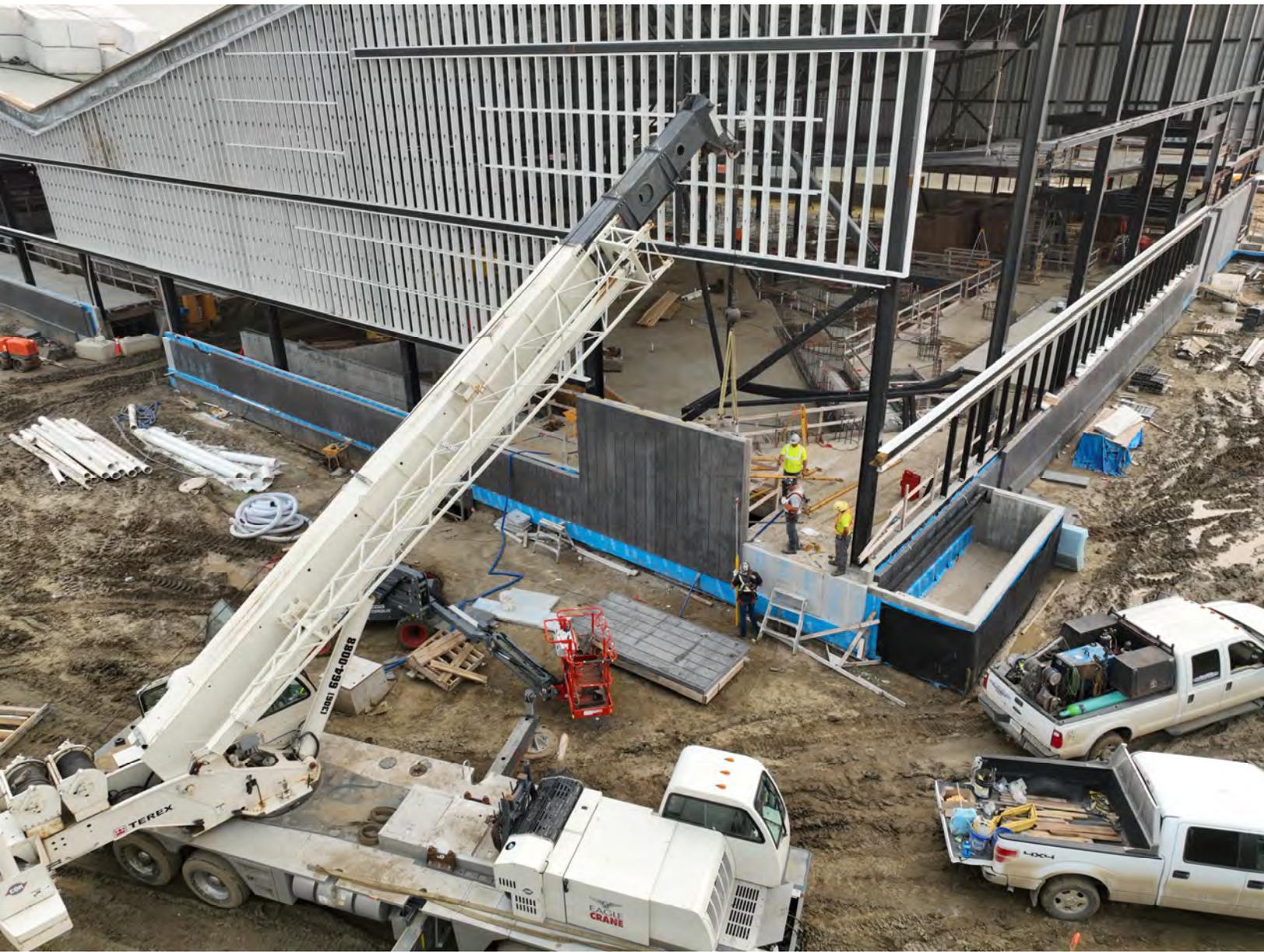
- Completion of all remaining structural steel.
- Slabs to be poured in lobby and aquatics.
- Roofing to be completed in lobby and aquatics.
- Metal decking and roofing to begin in North Arena.
- Framing and boarding to begin in north arena.
- Framing and boarding to be completed in aquatics and lobby.
- Exterior vapour barrier & insulation to continue.
- Aluminum curtainwall framing and glazing to continue.
- Precast wall panel installation to be completed.
- Masonry installation to continue into Aquatics and lobby.
- Pool piping below hot tub to begin.
- Piping surrounding lap pool to be completed and concrete encased.
- Wave pool/lazy river walls to be formed and poured.
- Electrical and Mechanical rough ins to continue in all areas.
- Slab prep in Aquatics around pools and lobby to continue.





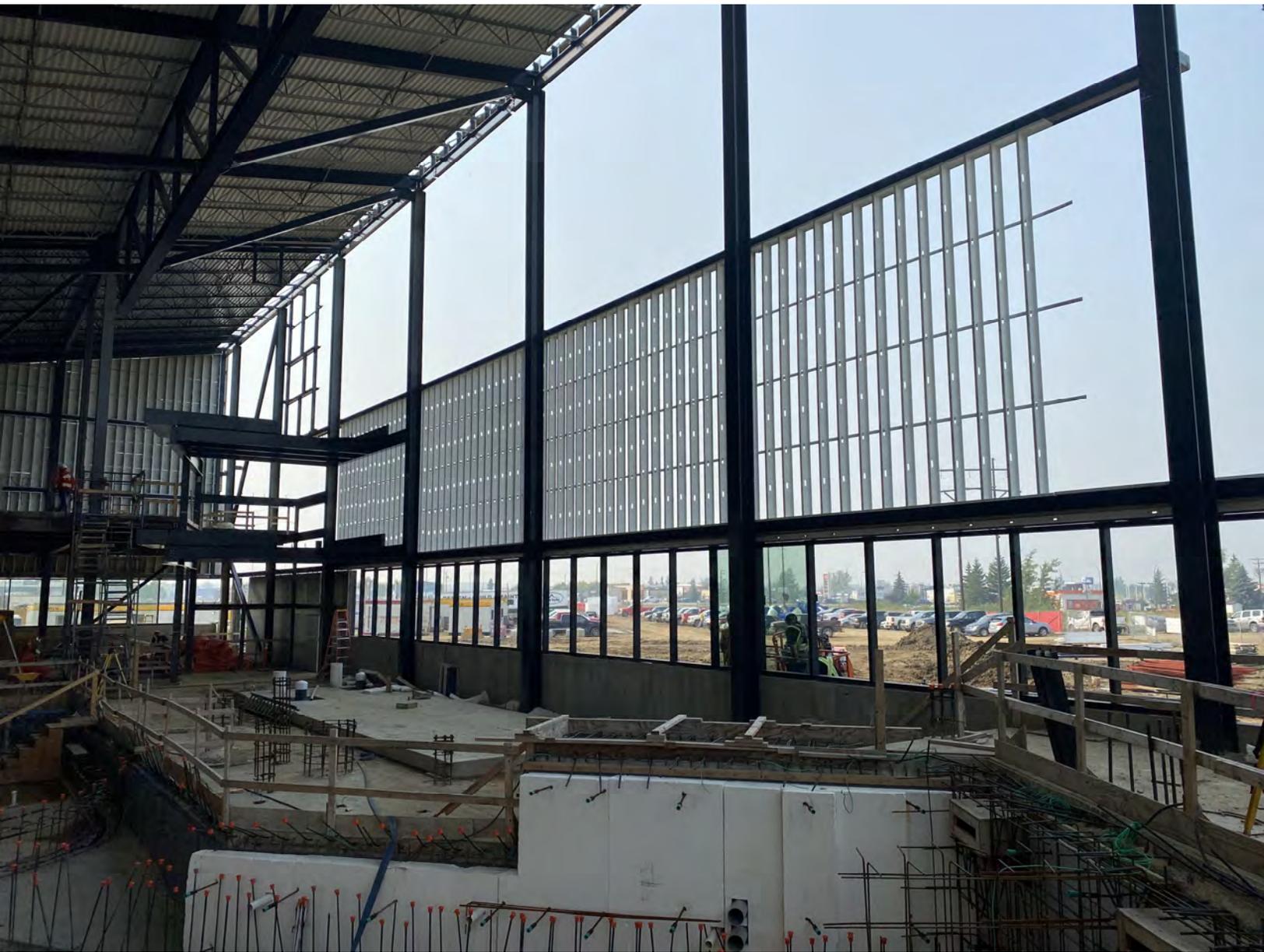












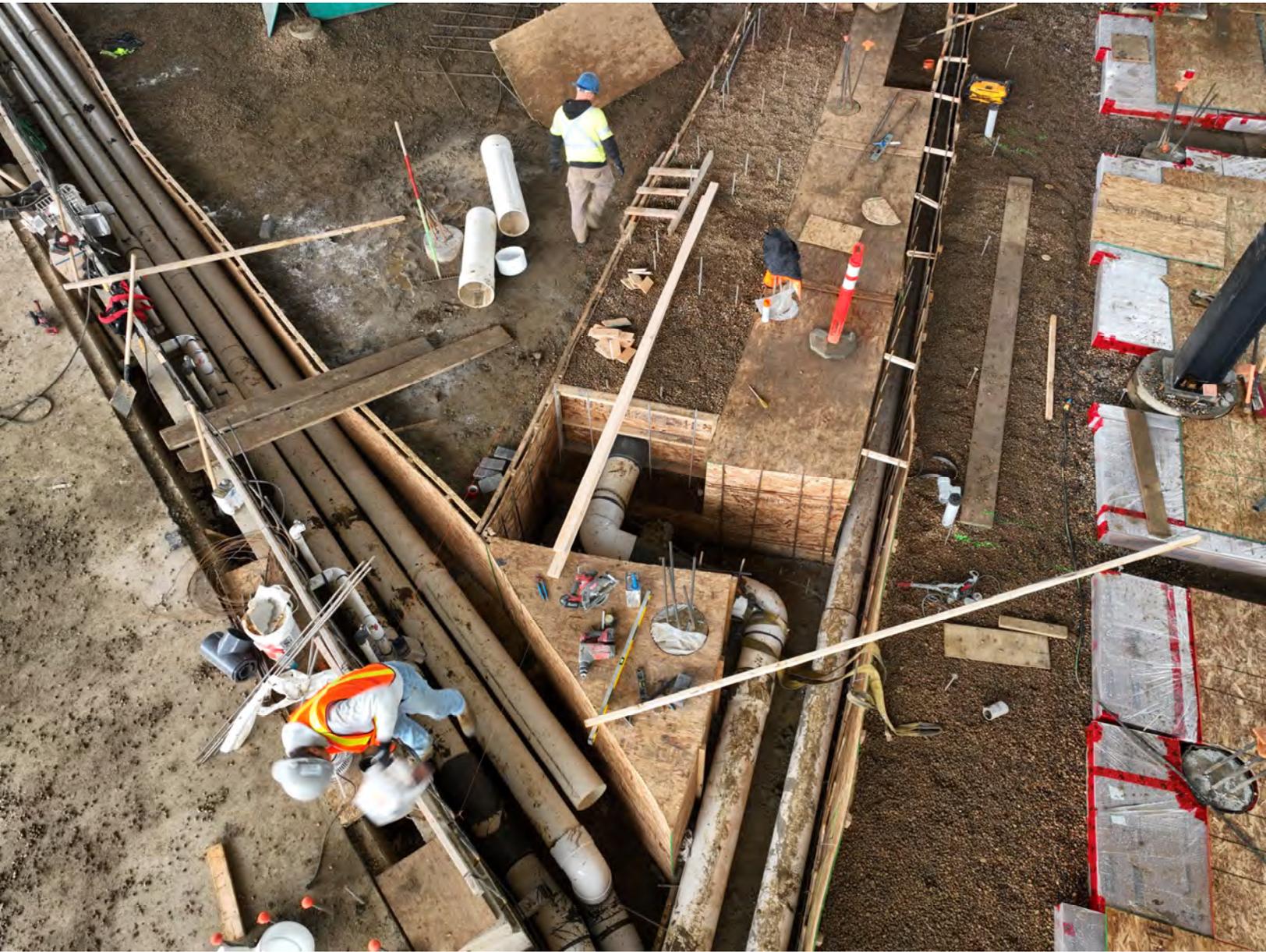






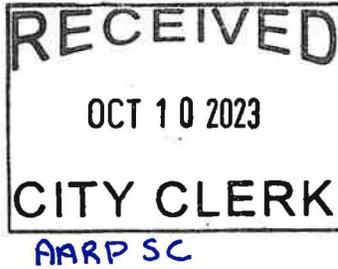












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Canada

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aecom.com

**Project name:**  
Aquatic and Arenas Recreation Centre

**Project ref:**  
60642853

**From:**  
Trevor Woiden, P.Eng.

**Date:**  
October 5, 2023

**To:**  
City of Prince Albert-Aquatic and Arenas  
Recreation Centre Steering Committee

**CC:**  
Nykol Miller, Capital Projects Manager

**Recommended  
Disposition:**

Info & File

# Memo

**Subject: AARC Construction Update – September 2023**

The following work was completed in the month of September:

Arenas:

Structure/Exterior:

- Structural steel for north arena complete.
- Precast Panels installed on north arena and access infill on south arena.
- Metal Decking to north arena was completed and roofing began.
- Exterior framing, boarding and insulation continued on east and north sides.

Interior:

- Mechanical and electrical rough-ins continued. Ductwork and plumbing continued in change rooms and south arena.
- Forming for topping slab and risers continued north side. Rubbing of bleacher concrete was ongoing.
- Stairs ST05 were installed.
- Stevenson (Ice Refrigeration) equipment continued progress in refrigeration equipment room.
- South arena ice surface prep began as a layer of sand was hauled in and the heating lines were installed.

Lobby:

Structure/Exterior:

- Insulation and flashings were installed on west elevation in prep for cladding delivery scheduled for mid October.
- Glazing along gridlines L' and 7' were installed. Vestibule framing and glazing yet to be completed.
- Skylight framing was installed.
- Soffit framing continued.

Interior:

- Slabs not containing heating lines were poured.
- Masonry walls were completed in the concession/future retail spaces. Masonry at exit is ongoing.
- Mechanical roughins (natural gas, sprinklers, heating lines, etc) continued.
- Elevator Hoist beam grouted in place.

**Aquatics:**

Exterior:

- Roofing progress continued and is nearly complete.
- Exterior framing, boarding, and insulation continued.
- Glazing was mostly completed at floor level (ESC006 & 007). South facing Clearstory
- Glazing installed (ESC011). Frames for north side upper glazing installed (ESC008).
- Framing of East wall (ESC009) began in late September.

Interior:

- The change room area slabs were completed.
- West Side of competition pool deck formed and poured.
- Splash Pad area formed. The slab pour was delayed due to CD 094.
- Pool splash pad accessory bases were installed and plumbed.
- Wave pools walls forming and reinforcement began.
- East side stairs (ST02) to basement were installed.
- Masonry completed on 2nd floor in mechanical space.
- Masonry began in basement and was mostly completed.
- Firestopping to tops of masonry walls is ongoing.
- SFRM Fireproofing was completed.
- Air handler installed on 2nd floor.
- Mechanical and electrical roughins continued, including overhead ductwork above change rooms, natural gas line installation, sprinkler piping, buried blue duct, sanitary piping, pool piping, electrical bonding to pool area, etc.

- 
- There were 0 lost days in September. No extension to project end date is forecasted.
  - Safety; 351 safety orientations to date, 4 minor incidents. 2 Major/Serious incidents. 3 minor near miss.
  - Labour; 17,328 hours in September, 131,452 hours to date.
  - September 2023 progress certificate has been issued to the City.
  - Requests for Information (RFI's); Issued – 323, Resolved – 316
  - Site Instructions; Issued – 71

- Proposed Change Notices (PCN); Issued – 93
  - Submittals; Issued – 224, Resolved - 215
  - Site Photos attached.
- 

The following work is planned for October:

- South Arena ice Surface to continue installation. Sand base, cooling lines, and reinforcing expected to be installed.
- Overhead doors to be installed.
- North Arena roofing to be completed.
- North Arena weeping tile installation to be completed. To start backfill and install of base and perimeter sand.
- Masonry to begin in aquatics change room areas.
- Remaining slabs to be poured around competition pool. Forming of wave pool walls to be completed and concrete poured. Forming of hot tub to begin.
- Remaining arena spectator area topping slab and bleachers to be formed and poured.
- Remaining exterior framing, boarding, and installation to be completed.
- Cladding and translucent panels to begin installation.





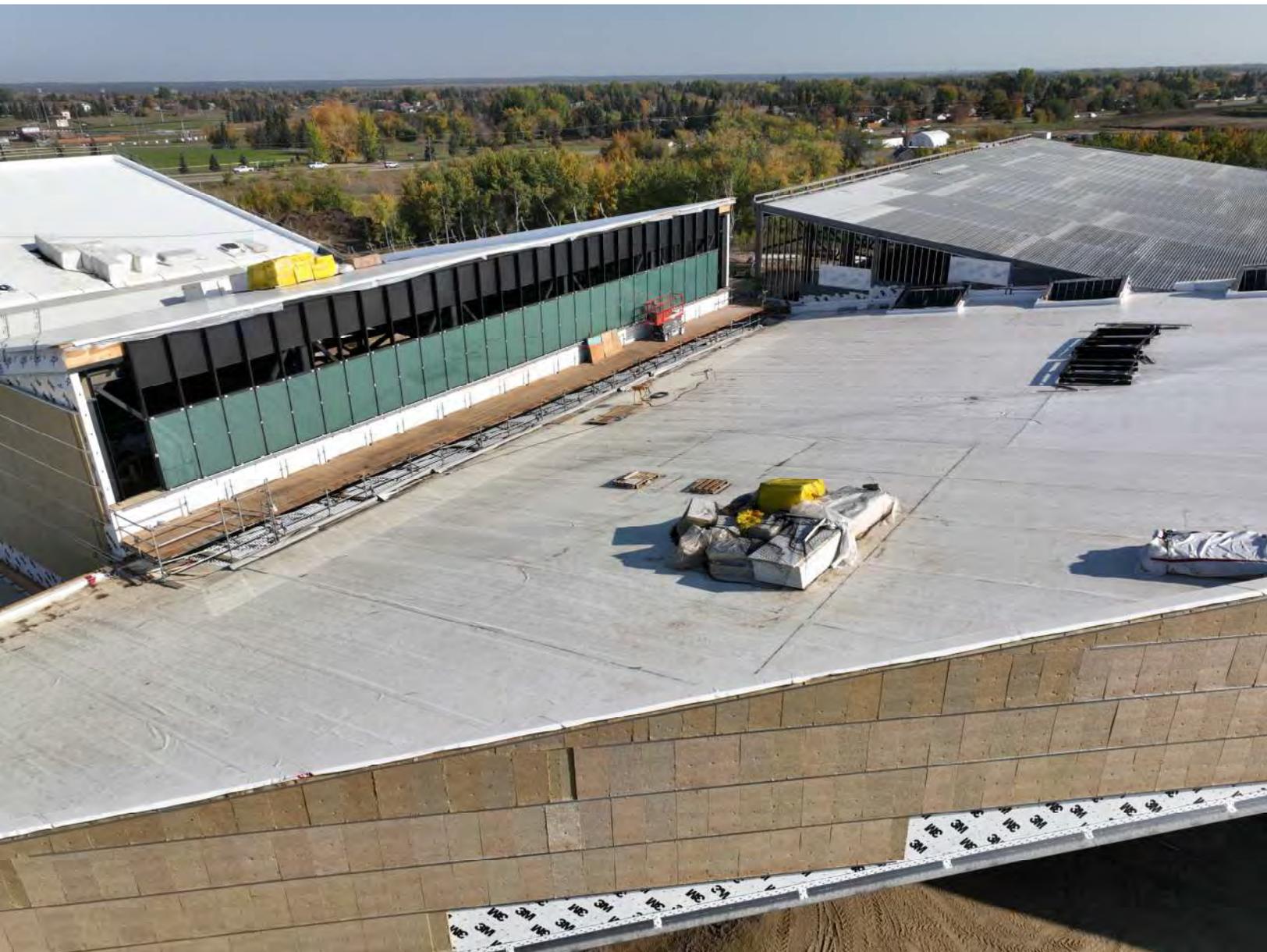


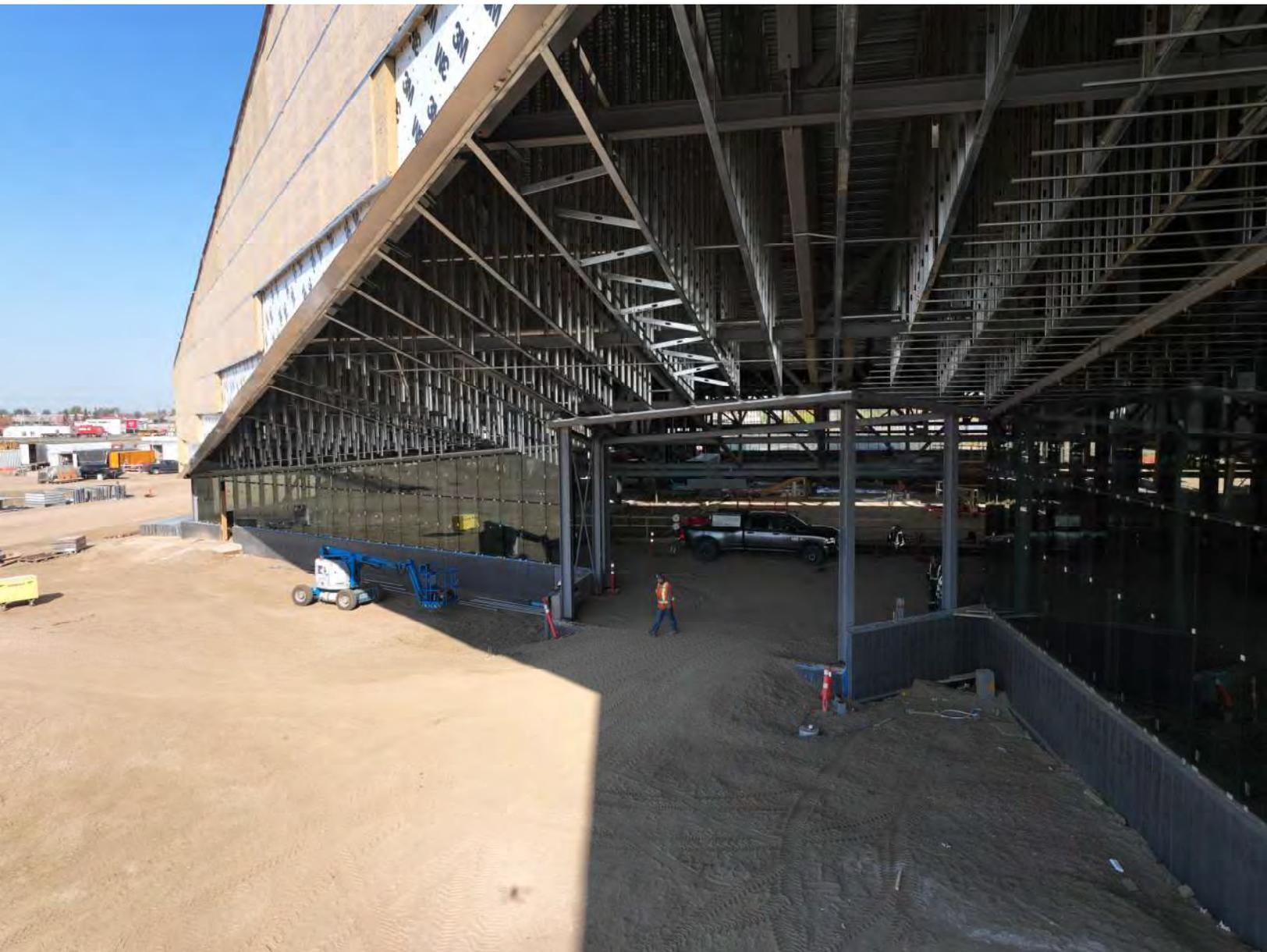


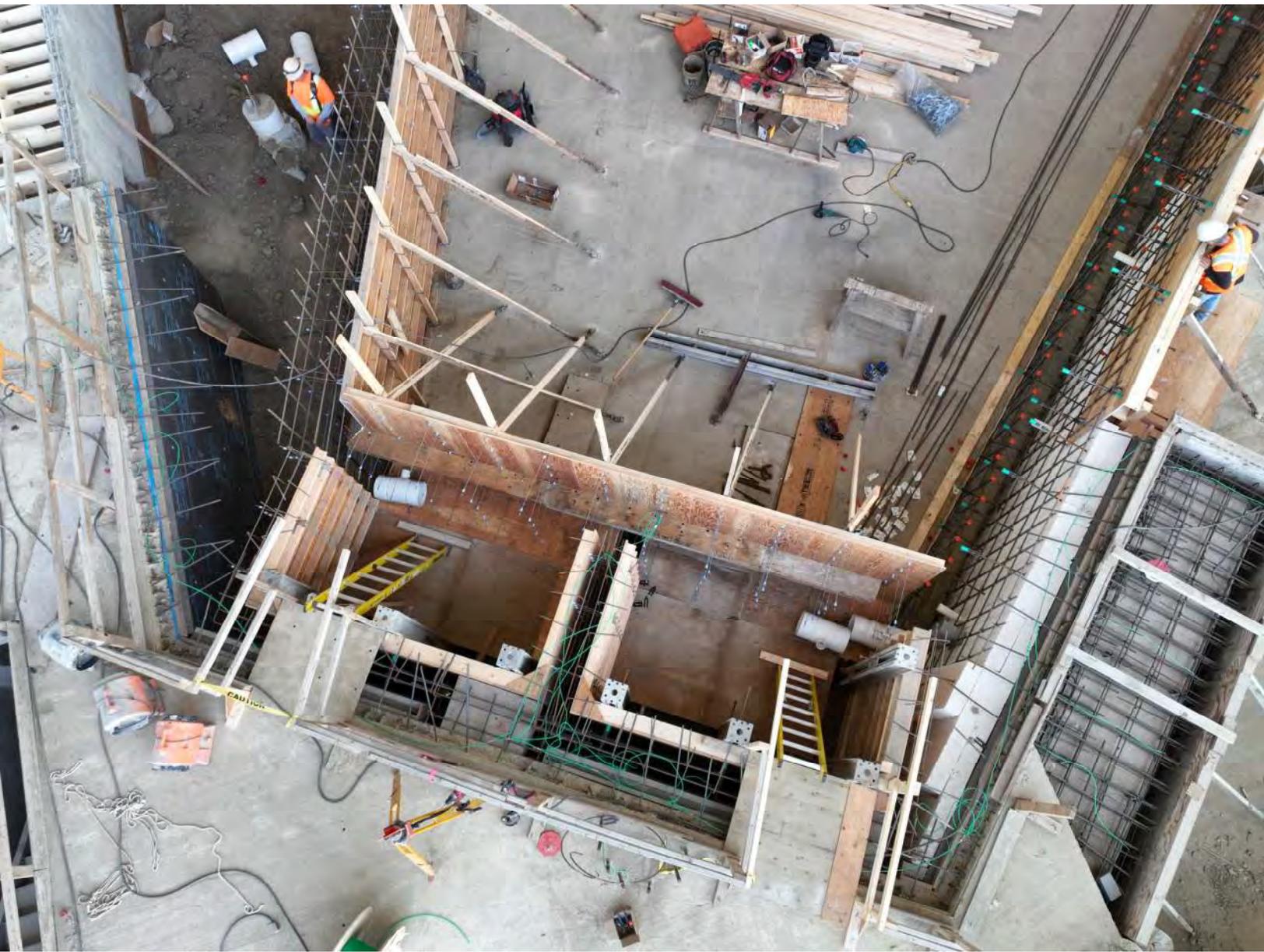




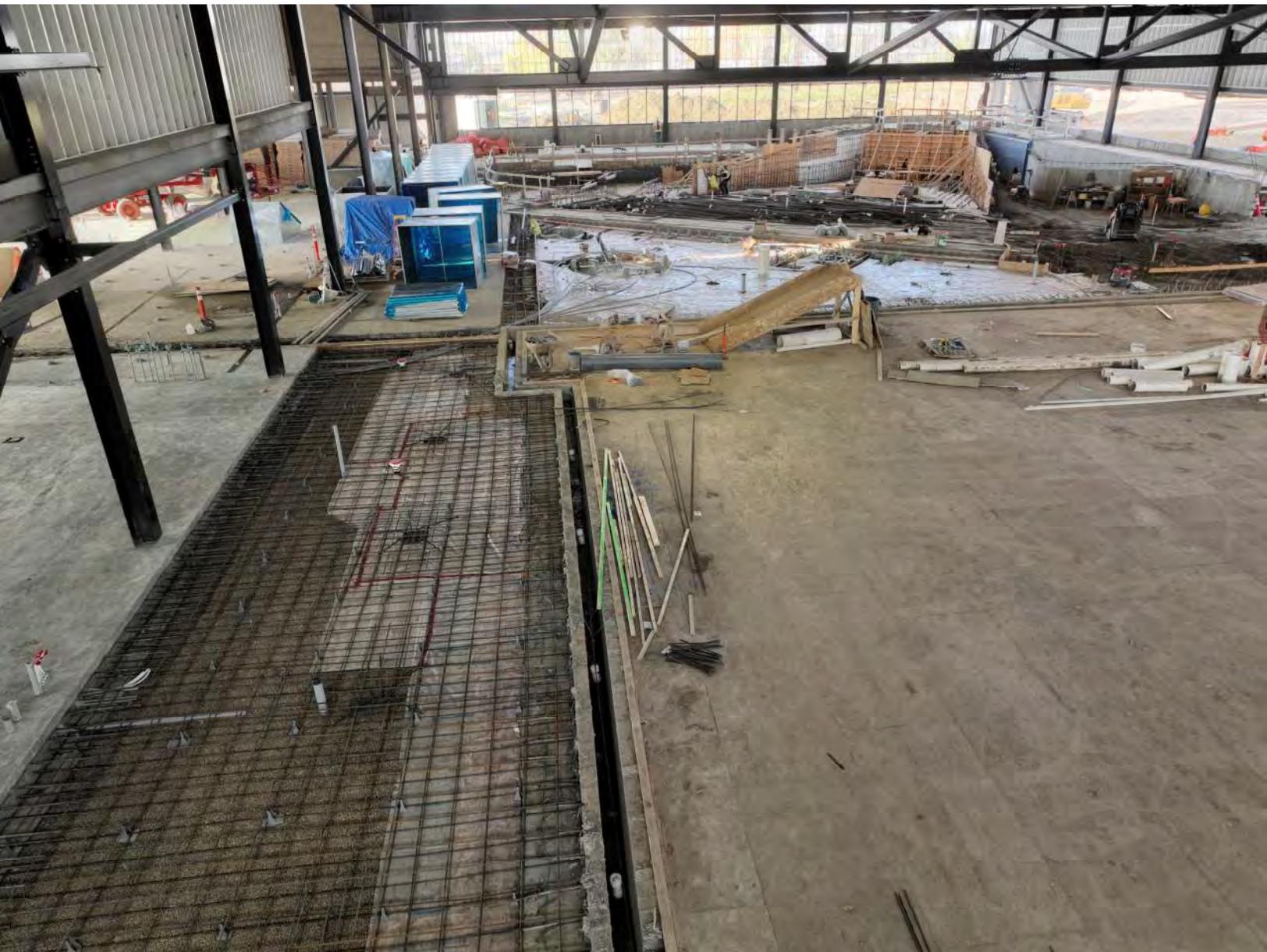




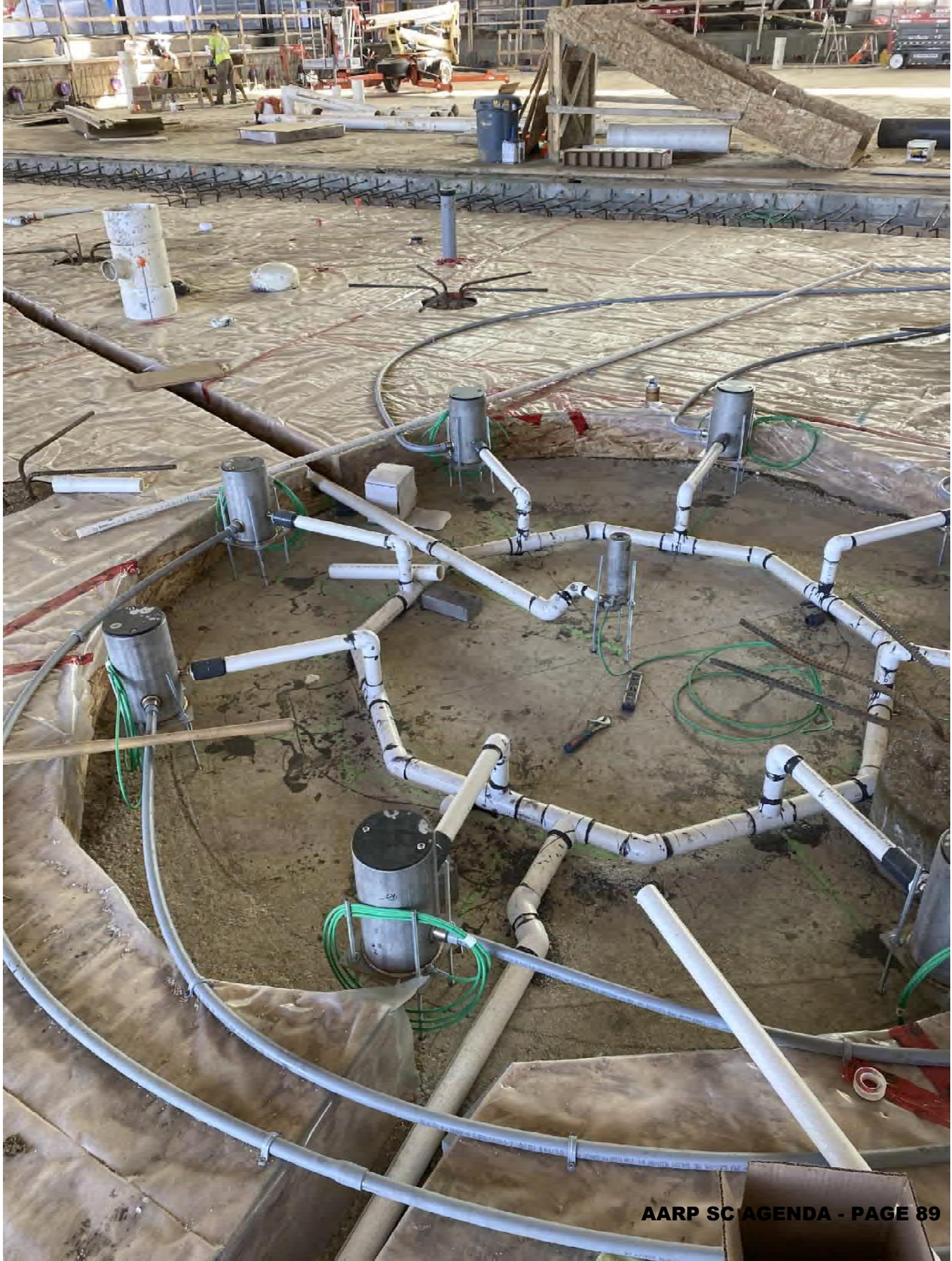










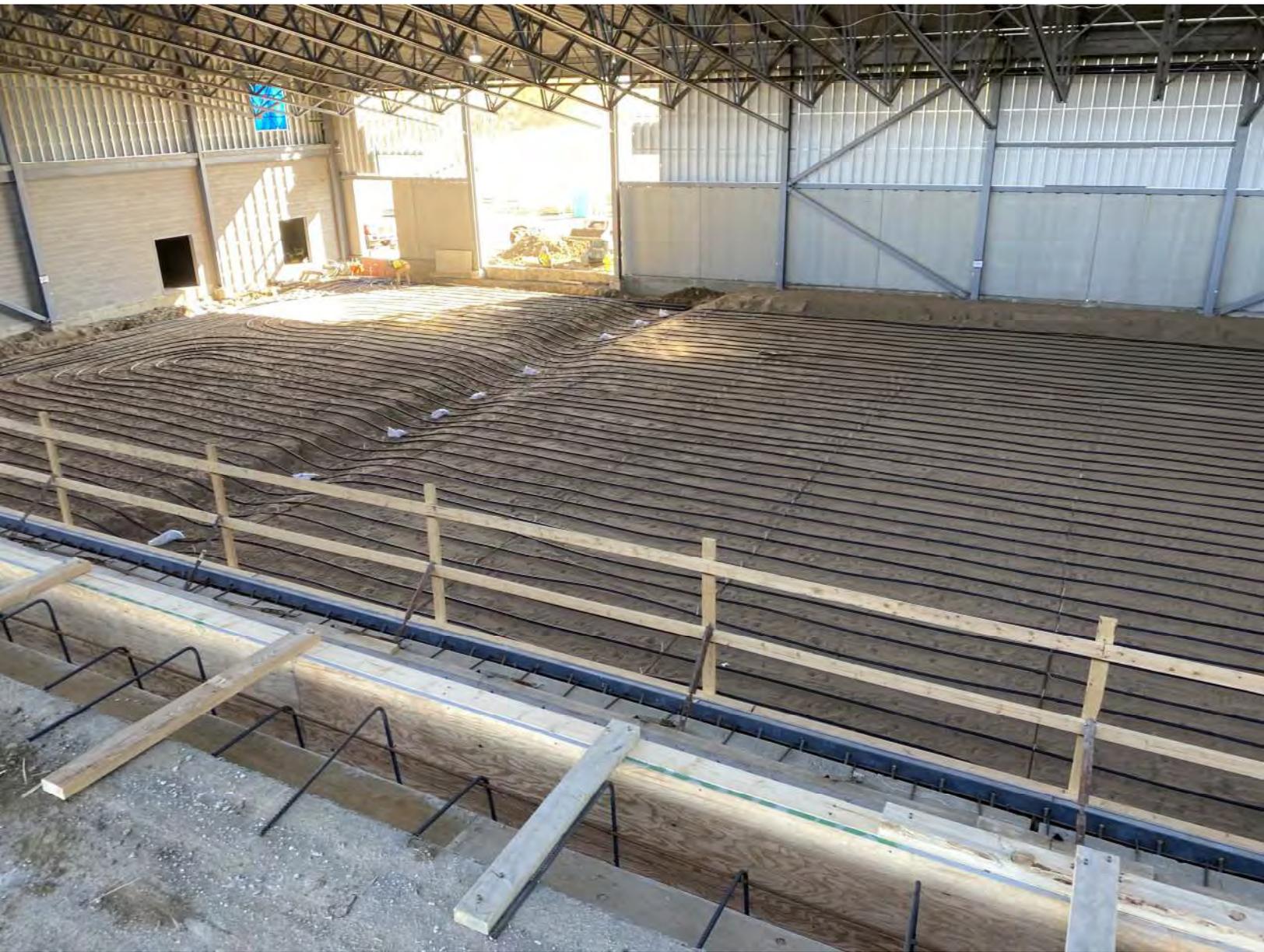








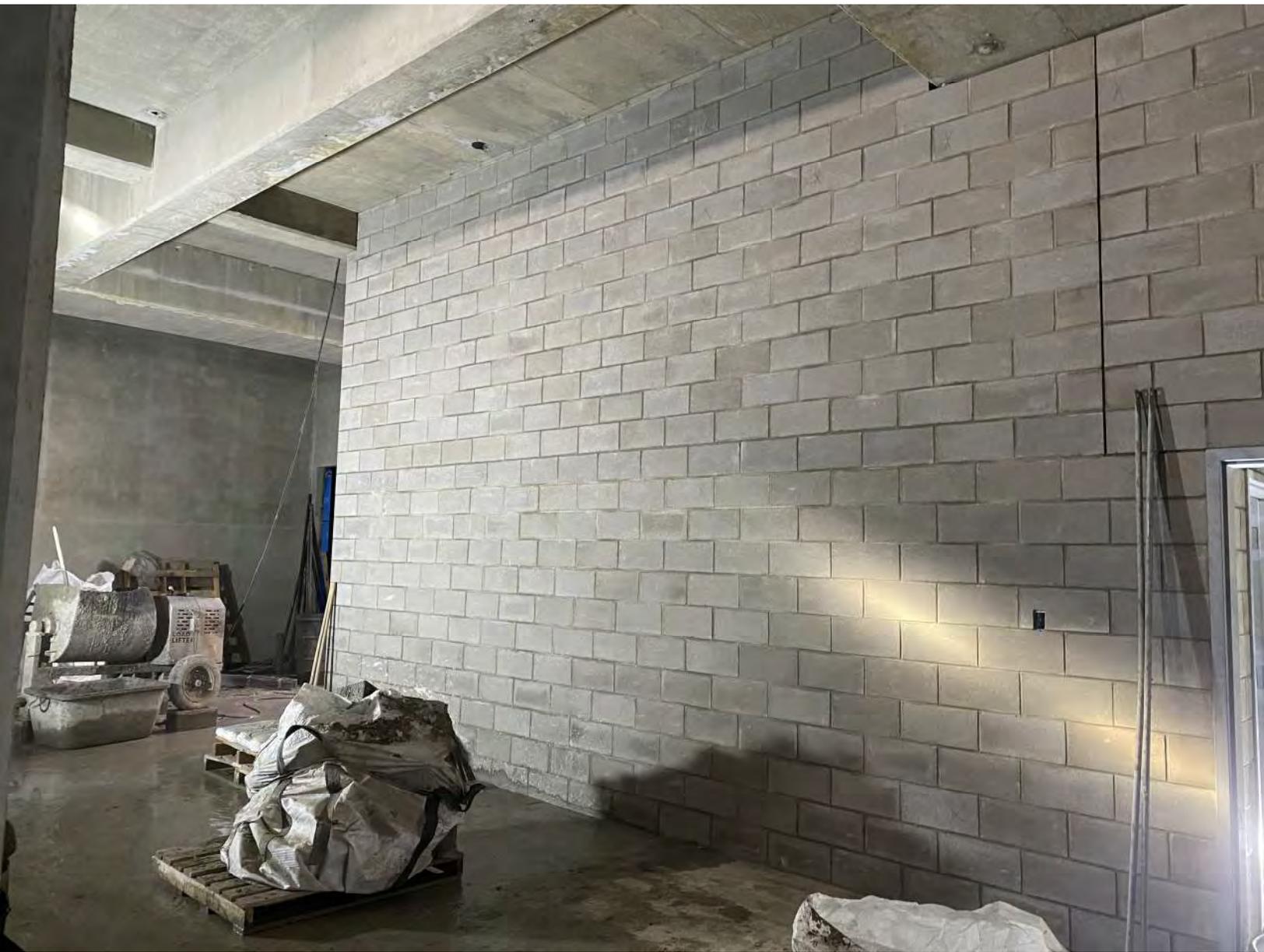




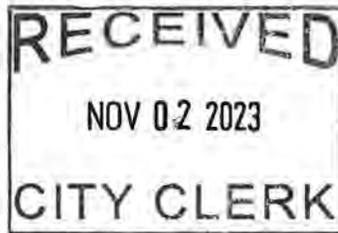












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**Project name:**  
Aquatic and Arenas Recreation Centre

**Project ref:**  
60642853

**From:**  
Trevor Woiden, P.Eng.

**Date:**  
November 2, 2023

**To:**  
City of Prince Albert-Aquatic and Arenas  
Recreation Centre Steering Committee

**CC:**  
Nykol Miller, Capital Projects Manager

**Recommended  
Disposition:**

Info → File

# Memo

**Subject: AARC Construction Update – October 2023**

The following work was completed in the month of October:

Arenas:

Structure/Exterior:

- Framing and boarding of remaining exterior walls of North arena was completed.
- Exterior cladding arrived on site. To begin installation after all boarding/insulation is completed.
- Translucent panels on both North and South arenas arrived on site and were installed.
- Roofing was completed.
- Temporary access into the North arena was infilled.

Interior:

- Mechanical and electrical rough-ins continued. Ductwork and plumbing continued in change rooms and south arena. Roof drain RWL piping continued.
- Forming for topping slab and risers continued south side. Rubbing of bleacher concrete was ongoing.
- Ice Refrigeration equipment continued progress in refrigeration equipment room.
- South arena ice surface work continued. Heating Lines, Insulation, Poly were installed.
- Cooling line installation began.
- South Arena Periphery slab formed, rebar installed, and poured.
- Block Filler (priming) began in change rooms.
- North Arena leveling and compaction of subgrade was completed and sand layer was installed.

## Lobby:

### Structure/Exterior:

- Framing completed in soffit area. Boarding began.
- Sprinklers to the soffit area continued.
- Skylight glazing was installed.

### Interior:

- Mechanical and Electrical roughins (natural gas, sprinklers, heating lines, etc) continued.
- Masonry wall at ST04 installed.

## Aquatics:

### Exterior:

- Structural steel framing was installed and modified on Line A per PCN 080.
- Sloped roofing is completed. Roofing has begun on the flat roof at the end of October.
- Exterior framing, boarding, and insulation continued.
- Glazing was completed on the South clerestorey of Aquatics (ESC011).
- Aluminum framing and glazing was installed on the North clerestorey (ESC008).
- Aluminum framing of East wall completed (ESC009).

### Interior:

- East and South side of competition pool deck formed and poured.
- Pool splash pad area poured.
- Wave pool walls poured.
- Formed and poured grade beam tie-in behind hot tub.
- Masonry walls began on Main Floor in mechanical/change room space.
- Mechanical and electrical rough ins continued, including overhead ductwork above change rooms, natural gas line installation, sprinkler piping, buried blue duct, sanitary piping, pool piping, electrical bonding to pool area, etc.
- Bulkhead framing began in the pool area.

- 
- There were 1 lost day in October due to weather. No extension to project end date is forecasted.
  - Safety; 351 safety orientations to date, 4 minor incidents. 2 Major/Serious incidents. 3 minor near miss. No incidents in October
  - Labour; 18,339 hours in October, 149,791 hours to date. Average 100 persons on site daily.
  - October 2023 progress certificate has been issued to the Consultant.
  - Requests for Information (RFI's); Issued – 337, Resolved – 327
  - Site Instructions; Issued – 72
  - Proposed Change Notices (PCN); Issued – 100

- Submittals; Issued – 233, Resolved - 221
  - Site Photos attached.
- 

The following work is planned for November:

- Continue with exterior finishes (i.e. roofing, LKME panels, glazing, soffit framing/boarding, etc)
- Pour South Arena ice-rink concrete slab
- Form and reinforce North Arena periphery slab.
- Form and Pour South Lobby Slab
- Continue Masonry in Aquatics change rooms.
- Framing, boarding and stucco in Aquatics natatorium
- Pour hot tub slab & form lazy river walls
- Mechanical/electrical roughins ongoing throughout

























City of  
**Prince Albert**

**CORR 24-2**

**TITLE:** Aquatic & Arenas Recreation Centre Construction Monthly Update November 2023 - AECOM Canada Ltd.

**DATE:** January 4, 2024

**TO:** Aquatic & Arenas Recreation Project Steering Committee

**PUBLIC:** X

**INCAMERA:**

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**SUGGESTED DISPOSITION:**

That the Correspondence be received as information and filed.

**PRESENTATION:** None

**ATTACHMENTS:**

1. Memo dated November 30, 2023

Written by: AECOM Canada Ltd.

**To:**  
City of Prince Albert-Aquatic and Arenas  
Recreation Centre Steering Committee**CC:**  
Nykol Miller, Capital Projets Manager

# Memo

**Subject: AARC Construction Update – November 2023**

The following work was completed in the month of November:

**Arenas:****Structure/Exterior:**

- Insulation was mostly completed.
- LKME cladding install began on the South elevation and continued on the East elevation.
- Overhead doors installed.
- Exterior doors and frames install began.
- Deficient precast sandwich panels were replaced.
- Roofing on flat roofs was completed.

**Interior:**

- Mechanical and electrical rough ins continued. Ductwork, sprinkler, and plumbing
- continued in change rooms and south arena.
- Painting/Block Fill began in the change rooms and corridor.
- South Arena Ice surface slab was prepared and poured.
- Forming for topping slab on bleachers and risers continued.
- Ice Refrigeration equipment continued progress in refrigeration equipment room.
- North arena ice surface work continued. Heating Lines were installed with sand backfill.
- Insulation, Poly are in progress. Cooling line installation to begin in December.
- North Arena Periphery slab forming started.

## Lobby:

### Structure/Exterior:

- LKME cladding was installed on gridline 7'.
- Soffit area boarding and sprinkler work continued.
- South portion of Lobby slab was formed and poured.
- Central area of Lobby slab was formed with rebar installed. Heating Lines are ongoing and the slab is being poured on November 29.
- Air barrier and insulation was installed below the south aquatics clearstorey glazing unit (ESC011)
- Roofing the remaining portion of the lobby roof began and will be complete by early December.

### Interior:

- Mechanical and Electrical work (natural gas, sprinklers, heating lines, etc) continued.
- Stair railings on 2nd floor were installed.
- Steel stud framing for washrooms on main floor began.

## Aquatics:

### Exterior:

- Insulation installed along north elevation.
- Glazing was completed on the East of Aquatics (ESC009).
- Caulking between glazing panels and install of trims, flashings, etc at glazing continued.

### Interior:

- Raised deck east of wave pool/hot tub formed and poured.
- Slab over wave chamber formed and poured.
- Prepped and poured hot tub slab.
- Forming lazy river walls continued.
- Masonry walls continued in Main Floor change rooms (70% complete).
- Mechanical and electrical rough ins continued, ductwork, sprinkler piping, pool piping, electrical conduit and boxes, etc.
- Bulkhead and wall framing continued in the pool area.
- Boarding of bulkheads began in south pool area.

- 
- There were no lost days in November. No extension to project end date is forecasted.
  - Safety; 409 safety orientations to date, 4 minor incidents. 2 Major/Serious incidents. 3 minor near miss. No incidents in October
  - Labour; 15,810 hours in November, 165,601 hours to date. Average 100 persons on site daily.
  - November 2023 progress certificate has been issued to the Consultant.
  - Requests for Information (RFI's); Issued – 347, Resolved – 337

- Site Instructions; Issued – 74
  - Proposed Change Notices (PCN); Issued – 114
  - Submittals; Issued – 243, Resolved - 234
  - Site Photos attached.
- 

The following work is planned for December:

- Continue with exterior finishes (i.e. LKME panels, soffit framing/boarding, etc)
- Reinforce and pour North Arena periphery slab.
- Form North Arena ice-rink concrete slab with potential pour. Date still TBD.
- Pour Remaining Lobby Slab
- Complete Masonry in Aquatics change rooms.
- Framing, boarding and stucco in Aquatics natatorium
- Lobby and south arena framing to begin.
- Pour lazy river walls
- Mechanical/electrical roughins ongoing throughout



**APPENDIX F**

**CONSTRUCTION PHOTOGRAPHS**



Figure 1 - East Elevation - North Arena and Aquatics



Figure 2 - South-East - South Arena



Figure 3- West Elevation - Lobby



Figure 4 - West Elevation - Aquatics



Figure 5 - North Arena - Heating Line Install



Figure 6 - North Arena - Sand Cover

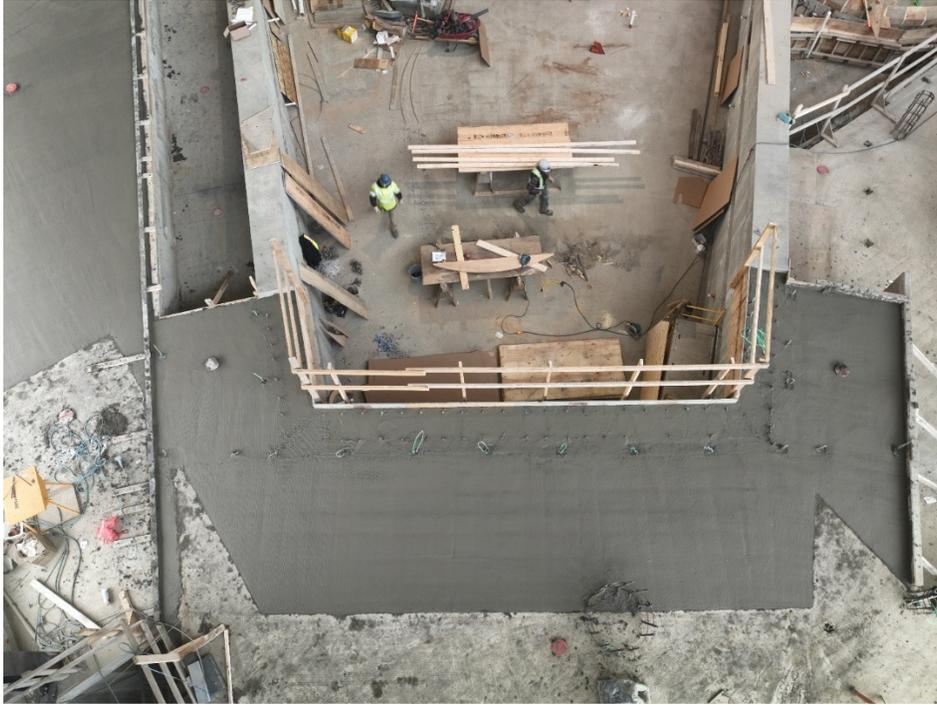


Figure 7- Aquatics - Wave Chamber Top Slab



Figure 8 - South Arena - Slab with Water Cure



Figure 9- Aquatics Interior I



Figure 10 - Aquatics Interior II - Lazy River



Figure 11- Lobby 2nd Floor Rail Install



Figure 12 - Lobby 2nd Floor Rail Install II



Figure 13 - Lobby Floor South Heating Lines - Prepour



*Figure 14- Arena South - Cooling Lines - Prepour*



Figure 15- Arena Bleachers Topping Slab Prep



Figure 16 - Arena Overhead Door



Figure 17 - Aquatics - North Elevation



Figure 18 - South-West - Exterior Cladding



City of  
**Prince Albert**

**CORR 24-7**

**TITLE:** Aquatic & Arenas Recreation Centre Construction Monthly Update December 2023 and Project Budget - AECOM Canada Ltd.

**DATE:** January 12, 2024

**TO:** Aquatic & Arenas Recreation Project Steering Committee

**PUBLIC:** X

**INCAMERA:**

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**RECOMMENDATION:**

That the Correspondence be received as information and filed.

**PRESENTATION:** Verbal Presentation by Trevor Woiden, P. Eng., AECOM Canada Ltd.

**ATTACHMENTS:**

1. Memo dated January 10, 2024
2. Memo dated January 4, 2024

Written by: Trevor Woiden, P. Eng., AECOM Canada Ltd.



AECOM Canada Ltd.  
200 – 2100 8th Street  
Saskatoon, SK S7H 0V1  
Canada

T: 639.638.8150  
F: 306.700.2428  
aecom.com

**Project name:**  
Aquatic and Arenas Recreation Centre

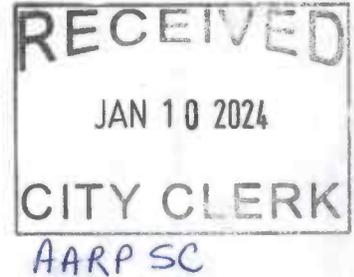
**Project ref:**  
60642853

**From:**  
Trevor Woiden, P.Eng.

**Date:**  
January 10, 2024

**To:**  
City of Prince Albert-Aquatic and Arenas  
Recreation Centre Steering Committee

**CC:**  
Nykol Miller, Capital Projects Manager



# Memo

**Subject: AARC Construction Update – December 2023**

The following work was completed in the month of December:

Arenas:

Structure/Exterior:

- Vapour barrier, insulation and flashings installed on East Arena walls.
- Exterior doors and frames install continued. Frames are in place, doors in progress.

Interior:

- Mechanical and electrical rough ins continued. Ductwork, sprinkler, and plumbing continued in dressing rooms and south arena.
- Painting/Block Fill continued in the dressing rooms and corridor.
- North Arena Perimeter Slab was formed and poured.
- North Arena Ice surface slab was prepared for January pour.
- Formed and poured 2nd floor Arena topping slab.
- Ice Refrigeration equipment continued progress in refrigeration equipment room.
- Electrical Room housekeeping pads completed.
- Boiler Room equipment placed.
- Drink Rails were welded into place.
- Forming of Stairs/Risers on bleachers began.
- Steel stud bulkhead framing began in South Arena.

**Recommended  
Disposition:**

Receive as  
Info & File

### Lobby:

#### Structure/Exterior:

- Soffit area boarding and sprinkler work continued.
- Roof expansion joint was installed and remaining roof membrane was completed.
- Pressure plates installed to exterior curtainwall framing.

#### Interior:

- Mechanical and Electrical work (natural gas, sprinklers, heating lines, etc) continued.
- Steel stud framing for washrooms on main floor continued.
- Bulkhead steel stud framing and boarding was completed adjacent to the South Arena.
- Remainder of the slab on grade was prepped and poured.
- HSS mirror supports were installed.

### Aquatics:

#### Exterior:

- Exterior doors and frames install continued.
- Pressure plates installed to exterior curtainwall framing.

#### Interior:

- All main floor decks formed and poured.
- Began forming hot tub walls.
- Forming of the lazy river walls continued. The perimeter lazy river walls were poured.
- Forming of waterslide tower stairs/landings began.
- Masonry walls were completed in the change room areas.
- Mechanical and electrical rough ins continued, ductwork, sprinkler piping, pool piping, electrical conduit and boxes, etc.
- Bulkhead and wall framing continued in the pool area.
- Boarding of bulkheads continued and is nearly complete on the south half.
- Acrylic stucco began on south end.
- Block wall fill began.
- Majority of the wood ceiling panels for the Aquatics area were delivered to site.
- Ceiling support framing began above lap pool.

- 
- There were no lost days in December. No extension to project end date is forecasted.
  - Labour; 12,977 hours in December, 178,598 hours to date. Average 100 persons on site daily.

Memo  
Aquatic and Arenas Recreation Centre

- Safety; 420 safety orientations to date, 4 minor incidents. 3 Major/Serious incidents. 3 minor near miss. One incident in December.
  - December 2023 progress certificate has been issued to the Consultant.
  - Requests for Information (RFI's); Issued – 368, Resolved – 355
  - Site Instructions; Issued – 79
  - Proposed Change Notices (PCN); Issued – 114
  - Submittals; Issued – 249, Resolved - 234
  - Site Photos attached.
- 

The following work is planned for January:

- Continue with exterior finishes (i.e. LKME panels, soffit VB/insulation, etc)
- Pour North Arena slab.
- Form and Pour Slide Tower stairs and platforms.
- Continue masonry in pool admin area and begin 2nd floor lobby.
- Framing, boarding and stucco in Aquatics natatorium to continue.
- Lobby and south arena framing to begin.
- Pour hot tub and remaining lazy river walls
- Mortar bed for aquatic change rooms.



APPENDIX F

CONSTRUCTION PHOTOGRAPHS



Figure 1 - Full Site



Figure 2 - North-West Elevation



Figure 3 - East Elevation



Figure 4 - South East Elevation



Figure 5 – Lobby - East Elevation



Figure 6 - Aquatics East Elevation



Figure 7 - Canopy



Figure 8 - South-East Roof



Figure 1 - Change Room Corridor



Figure 10 - Lazy River Formwork



Figure 2 - Lobby - South



Figure 3 - Wave Pool

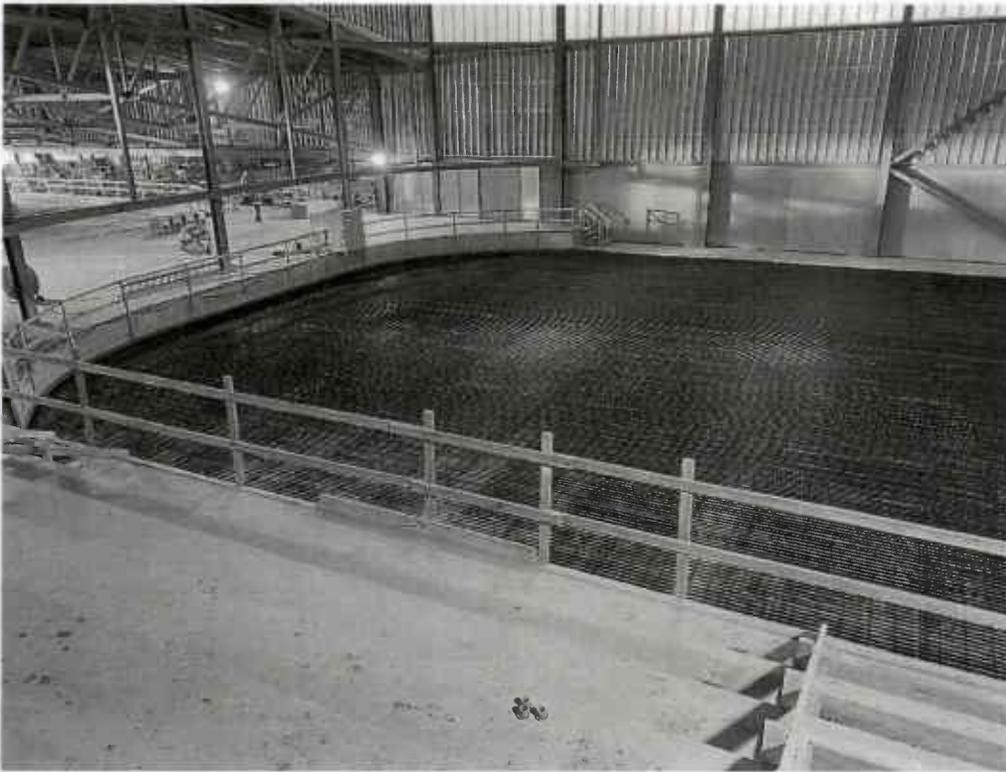


Figure 5 - North Arena - Prepour



Figure 4 - South Arena



*Figure 7 - Lap Pool Ceiling*



*Figure 6 - North Aquatics Ceiling*



Figure 9 - Lobby Washroom Framing

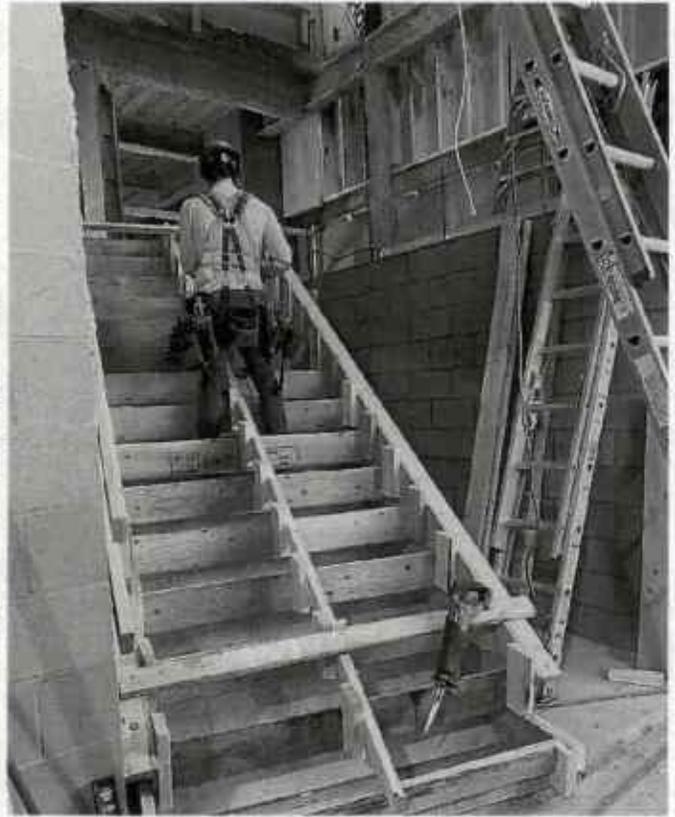
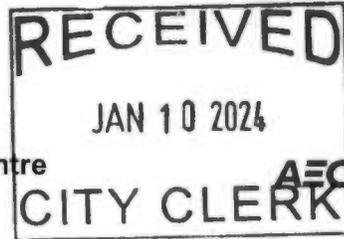


Figure 8 - Slide Tower Formwork



Figure 10 - Lobby Vanity Support Framing



**City of Prince Albert - Aquatic and Arenas Recreation Centre**  
**Project Budget (pre tax)**

**AECOM**

Data Date: January 4, 2024

**AARPS**

Task Name	Task Number	Original Budget	Current Budget	Cost To Date	Percent Spent	Estimate to Completion
<b>Prime Consultant/Architect - Group2/MJMA</b>						
Preliminary & Concept Design	1	\$ 998,680.00	\$ 998,680.00	\$ 998,680.00	100.00%	\$ -
Detail Design	2	\$ 2,401,060.00	\$ 2,401,060.00	\$ 2,401,060.00	100.00%	\$ -
Bidding & Tendering	3	\$ 204,000.00	\$ 204,000.00	\$ 204,000.00	100.00%	\$ -
General Engineering	4	\$ 1,283,500.00	\$ 1,283,500.00	\$ 763,682.50	59.50%	\$ 519,817.50
Site Inspections	5	\$ 1,350.00	\$ 1,350.00	\$ -	0.00%	\$ 1,350.00
Post Construction	6	\$ 91,585.00	\$ 91,585.00	\$ -	0.00%	\$ 91,585.00
Reimbursable Expenses	7	\$ 108,214.00	\$ 108,214.00	\$ 25,889.27	23.92%	\$ 82,324.73
Credit - Graham SC8				\$ (1,142.00)		
<b>TOTAL</b>		<b>\$ 5,088,389.00</b>	<b>\$ 5,088,389.00</b>	<b>\$ 4,392,169.77</b>	<b>86.32%</b>	<b>\$ 695,077.23</b>

<b>Project Manager - AECOM</b>						
Preliminary Design	1	\$ 34,931.00	\$ 34,931.00	\$ 12,547.36	35.92%	
Conceptual Design	2	\$ 37,563.00	\$ 37,563.00	\$ 16,023.75	42.66%	
Detailed Design	3	\$ 85,940.00	\$ 85,940.00	\$ 73,949.97	86.05%	
Construction Documents	4	\$ 56,026.00	\$ 56,026.00	\$ 11,217.50	20.02%	
Bidding	5	\$ 10,582.00	\$ 10,582.00	\$ 14,118.40	133.42%	
Construction Services	6	\$ 142,635.00	\$ 142,635.00	\$ 96,965.56	67.98%	\$ 45,669.44
Post Construction	7	\$ 30,901.00	\$ 30,901.00	\$ -	0.00%	\$ 30,901.00
<b>TOTAL</b>		<b>\$ 398,578.00</b>	<b>\$ 398,578.00</b>	<b>\$ 224,822.54</b>	<b>56.41%</b>	<b>\$ 76,570.44</b>

<b>Contractor - Graham Construction</b>						
Construction		\$ 104,811,000.00	\$ 99,621,592.00	\$ 67,331,573.15		\$ 32,290,018.85
<b>TOTAL</b>		<b>\$ 104,811,000.00</b>	<b>\$ 99,621,592.00</b>	<b>\$ 67,331,573.15</b>	<b>67.59%</b>	<b>\$ 32,290,018.85</b>

<b>Total Project Budget</b>						
Total - Consulting Services		\$ 5,486,967.00	\$ 5,486,967.00	\$ 4,616,992.31		
Total - Construction		\$ 104,811,000.00	\$ 99,621,592.00	\$ 67,331,573.15		
Total - Equipment Fit-up & Furniture		\$ 2,500,000.00	\$ 2,500,000.00			
Total - Contingency		\$ 1,962,762.00	\$ 1,962,762.00			
<b>TOTAL PROJECT BUDGET</b>		<b>\$ 114,760,729.00</b>	<b>\$ 109,571,321.00</b>	<b>\$ 71,948,565.46</b>	<b>62.69%</b>	<b>\$ 42,812,163.54</b>

<b>Total PST</b>						
Prime Consultant/Architect - Group2/MJMA		\$ 46,138.41	\$ 72,434.88			
Project Manager - AECOM		\$ 4,050.76	\$ 2,301.43			
Contractor - Graham Construction		\$ 6,288,660.00	\$ 6,288,660.00			
<b>TOTAL PROJECT PST</b>		<b>\$ 6,338,849.17</b>	<b>\$ 6,363,396.31</b>			
<b>TOTAL PROJECT BUDGET (inc. PST)</b>		<b>\$ 121,099,578.17</b>	<b>\$ 115,934,717.31</b>			

**City of Prince Albert - Aquatic and Arenas Recreation Centre**  
**Contractor CoP/CO Budget**



Data Date: January 4, 2024

**Certificate of Payments**

CoP #	Invoice #	Date	Subtotal	Holdback	Invoice Amount	GST	PST	Total Payable
1	91096901	2022-07-29	\$ 3,158,035.50	\$ 315,803.55	\$ 2,842,231.95	\$ 142,111.60	\$ 170,533.92	\$ 3,154,877.47
2	91098776	2022-08-29	\$ 882,278.99	\$ 88,227.90	\$ 794,051.09	\$ 39,702.55	\$ 47,643.07	\$ 881,396.71
3	91100790	2022-09-27	\$ 1,628,358.01	\$ 162,835.80	\$ 1,465,522.21	\$ 73,276.11	\$ 87,931.33	\$ 1,626,729.65
4	91103473	2022-10-27	\$ 2,292,846.86	\$ 229,284.69	\$ 2,063,562.17	\$ 103,178.11	\$ 123,813.73	\$ 2,290,554.01
5	91106425	2022-11-29	\$ 1,643,904.02	\$ 164,390.40	\$ 1,479,513.62	\$ 73,975.68	\$ 88,770.82	\$ 1,642,260.12
6	91108764	2022-12-21	\$ 2,267,085.54	\$ 226,708.55	\$ 2,040,376.99	\$ 102,018.85	\$ 122,422.62	\$ 2,264,818.46
7	91110171	2023-01-30	\$ 1,842,469.47	\$ 184,246.95	\$ 1,658,222.52	\$ 82,911.13	\$ 99,493.35	\$ 1,840,627.00
8	91111005	2023-02-27	\$ 2,472,749.44	\$ 247,274.94	\$ 2,225,474.50	\$ 111,273.73	\$ 133,528.47	\$ 2,470,276.70
9	91112179	2023-03-27	\$ 2,672,098.02	\$ 267,209.80	\$ 2,404,888.22	\$ 120,244.41	\$ 144,293.29	\$ 2,669,425.92
10	91113206	2023-04-26	\$ 5,336,914.59	\$ 533,691.46	\$ 4,803,223.13	\$ 240,161.16	\$ 288,193.39	\$ 5,331,577.68
11	91114208	2023-05-29	\$ 5,802,477.24	\$ 580,247.72	\$ 5,222,229.52	\$ 261,111.48	\$ 313,333.77	\$ 5,796,674.77
12	9006787	2023-06-13	\$ 2,999,921.76	\$ -	\$ 2,999,921.76	\$ 149,996.09	\$ 179,995.31	\$ 3,329,913.16
13	91115062	2023-06-27	\$ 7,415,605.59	\$ 741,560.56	\$ 6,674,045.03	\$ 333,702.25	\$ 400,442.70	\$ 7,408,189.98
14	91116057	2023-07-28	\$ 4,645,952.59	\$ 464,595.26	\$ 4,181,357.33	\$ 209,067.87	\$ 250,881.44	\$ 4,641,306.64
15	91116956	2023-08-29	\$ 5,648,499.00	\$ 564,849.90	\$ 5,083,649.10	\$ 254,182.46	\$ 305,018.95	\$ 5,642,850.51
16	91118222	2023-10-10	\$ 6,295,782.17	\$ 629,578.22	\$ 5,666,203.95	\$ 283,310.20	\$ 339,972.24	\$ 6,289,486.39
17	91118613	2023-10-26	\$ 6,538,163.80	\$ 653,816.38	\$ 5,884,347.42	\$ 294,217.37	\$ 353,060.85	\$ 6,531,625.64
18	91119560	2023-11-27	\$ 3,522,504.85	\$ 352,250.49	\$ 3,170,254.36	\$ 158,512.72	\$ 190,215.26	\$ 3,518,982.34
			<b>\$ 67,065,647.44</b>	<b>\$ 6,406,572.57</b>	<b>\$ 60,659,074.87</b>	<b>\$ 3,032,953.77</b>	<b>\$ 3,639,544.51</b>	<b>\$ 67,331,573.15</b>

City of Prince Albert - Aquatic and Arenas Recreation Centre  
Contractor CO/PCN Tracking

AECOM

Data Date: January 4, 2024

Change Orders

CO #	Date	Status	Title	PCN	Description	Category	Amount	Contractor Markup
1	2022-07-14	Approved	Value Engineering	1	Multiple change items as part of post-tender value engineering. Changes include - Revised precast panel profile, replace lobby floor tiles with polished concrete, replace aluminum base with rubber base, steel coating revisions, pool tile revisions, pool AHU change, revise controls, replace copper conductors with aluminum, revised light fixtures in rink, revised landscaping plants, remove dryland seeding, revisions to glazing.	Owner Requested/Credit	\$ (3,084,011.00)	
2	2022-08-31	Approved	Wave Chamber	5	Wave chamber revisions as part of value engineering.	Owner Requested	\$ -	
3	2022-09-12	Approved	Value Engineering	1	Multiple change items as part of post-tender value engineering. Changes include - replace concrete dive lowers with pre-manufactured, replace concrete paths with asphalt, revise skylights in lobby, revisions to glazing, revised site grading, revise waterslide specifications.	Owner Requested/Credit	\$ (358,468.71)	
4	2022-09-12	Approved	Steel Connections	8	Cons'l Doc indicated fabricator is responsible for designing the connections as per parameters setout in specs. Upon review of connections provided by fabricator, structural noted a requirement for double angle connections at various locations.		\$ 73,956.00	
5	2022-10-11	Approved	Structural Steel Revision	4	Bulkhead removal as part of the value engineering exercise exposed some structural steel. Change Reason - covers up steel from protruding into the stairs.	VE Triggered	\$ 16,682.00	
6	2022-10-11	Approved	Arena Stair Revision	7	Modifications to arena stairs as part of value engineering changes.	VE Triggered	\$ -	
7	2022-11-01	Approved	Sprinkler Heads	9	Credit for 28 sprinkler heads over the pool not required.	Credit	\$ (6,920.00)	
8	2022-11-14	Approved	Additional Water Valves	3	Additional water valves to isolate the water service lines to the building and to the future building. Change Reason - water shut off valves were not included in bid documents. Requirement of CoPA standard specifications.	Error and/or Omission	\$ 23,986.00	\$ 1,142.00
9	2022-12-08	Approved	Condenser Slab Piles	11	Additional of piling for evaporated cooler slab. Change Reason - Evaporated Cooler unit selected during VE required no movement of support slab, until in original design allowed small movement, structural required.	VE Triggered	\$ 25,274.00	
10	2022-12-14	Approved	Value Engineering	2, 13, 16	Multiple change items as part of post-tender value engineering. Changes include - Tile Revisions, Glazing Revisions, Wood Ceilings, Header Trench, Score Board Supports, Pile Reinforcing.	Owner Requested/Credit	\$ (1,533,958.00)	
11	2022-12-14	Approved	Deck Drain, Sanitary, Gutter Piping	12/14/18	Addition of floor drains for overflows to improve performance. Reroute under slab piping to avoid conflict with ductwork. Revision for gutter line to avoid interference with wave generation equipment. Change Reason - revisions required to avoid conflicts with wave equipment and ductwork as well as slow down velocity of water returning to lacy river.	Error and/or Omission	\$ 12,880.00	\$ 694.67
12	2022-12-21	Approved	Arena Stair	10	Extension of the landing of stairs to provide additional storage.	Owner Requested	\$ 18,405.00	
13	2023-01-09	Approved	AHU	17	The AHU drawing included in the IFT/IFC sets didn't have an outdoor intake hood and had return air damper opening that was too small for the required airflow. Both need to be updated against the submitted shop drawings in order to minimize rain and snow ingress into the unit and to allow the circulation from the arenas through the unit to work properly. Change Reason - Bid documents did not have hood or correct size of R/A damper.	Error and/or Omission	\$ 15,803.00	\$ 799.81
14	2023-01-18	Approved	Ice Plant Revisions	6R1	Replaces specified skid mounted refing plant with low-charge ammonia plant. Change Reason - Cost saving as part of value engineering.	Owner Requested/Credit	\$ (210,490.00)	
15	2023-02-13	Approved	Elevator Floor Finish	19	Added tile floor to elevator. Change Reason - Floor finish was not specified for elevator in bid documents.	Error and/or Omission	\$ 1,729.46	\$ 84.72
16	2023-02-13	Approved	Phase 2 Parking Lot Lighting	15	The conduits for phase 1 that had been included as part of the original contract drawings had been sized to accommodate only the lighting for phase 1 - the size of these conduits also considered the voltage drop from the lighting circuits. There was not enough room in these conduits to add the phase 2 loads without upsizing these conduits. The phase 2 lighting will come from separate circuits, meaning separate cables are required for those fixtures. Consultant deemed it more feasible to introduce new conduits for phase 2 which would house the future circuits required with a direct path to the phase 2 area. If the phase 2 feeders were routed through the phase 1 conduit infrastructure the feeder length would greatly increase which would also further increase the feeder size (and corresponding conduit size) due to increase voltage drop considerations. The approach we have proposed would be the better option in terms of price and would also disrupt the existing phase 1 lighting less when phase 2 becomes implemented.		\$ 11,120.00	
17	2023-03-01	Approved	Arenas Steel Deck	24	Revised zinc coating designation for steel decks of roof of arenas.	Credit	\$ (7,276.00)	

18	2023-03-07	Approved	Deck Edge		The structural steel supplier has indicated additional materials are required to construct the deck and bent plate indicated.	Error and/or Omission	\$	21,148.00	\$	1,005.92
19	2023-03-07	Rejected	HVAC Grills	21	Change Reason - Revised grille sizes and types. The changes are the result of discussion with the consultant and HVAC contractor and are intended to improve building air flow. Rejection Reason - Detailed review noted hood vents included with HVAC units, grilles not required.		\$	28,549.00		
20	2023-03-07	Approved	Heating Line Coordination	29	Six pieces of equipment were missing in final bid documents.	Error and/or Omission	\$	36,976.00	\$	1,302.90
21	2023-03-15	Approved	Scum Channel	29	Modifications to scum channel and drop spacing. Change Reason - modifications required due to alternative time selected in value engineering.	VE Triggered	\$	24,695.00		
22	2021-03-15	Approved	Precast Panels	33	Panel on S-W Gridline to be insulated sandwich panel. Rejection Reason - Although not noted specifically, bidders should have assumed the panels were insulated sandwich panels as illustrated in multiple locations of the drawings.	Error and/or Omission	\$	85,449.00	\$	3,251.82
23	2023-03-20	Approved	Hot Tub Gutter Clarifications	22	Increased number of dropouts to account for correct flow in the gutter piping. Change Reason - Hot tub gutter drops were not shown on plans.	Error and/or Omission	\$	39,062.00	\$	2,186.20
24	2023-03-28	Approved	Dewatering System	27	Additional weeping tile under basement slab installed via directional drill. Connecting sump pumps to emergency power, additional sump pump. Change Reason - Significant ground water was discovered during basement excavation. Geotechnical recommendations for additional dewatering.	Discovered Condition	\$	54,153.00		
25	2023-04-05	Approved	Fire Shutter Electrical	26	Revised power connection to fire shutters located in concession and office admin space. Rational - Electrical requirements revised base on shop drawings.		\$	9,653.00	\$	494.42
26	2023-04-05	Approved	AHU-2 Duct Revision	30	Revised duct ductwork size.	Credit	\$	(4,348.00)		
27	2023-04-05	Approved	AHU 1 & 2 Duct Drains	31	Addition of drawings to the preheat coils of AH Handling Units 1 & 2. PCN Rational - Snow may get by coil of water may drip off coil, requiring a drain. Change Reason - Missed in Bid Documents.	Error and/or Omission	\$	2,150.00	\$	122.03
28	2023-04-07	Approved	Power for Overhead Door 140C	38	The IFC Electrical drawings only showed a power O/H door operator at one of the fire rated doors in resurfacer room, opening into the south rink. Change Reason - Power not shown for the north rink. This change adds power to door A140C for the O/H door operator.	Error and/or Omission	\$	3,063.00	\$	160.77
29	2023-04-07	Approved	Deletion of SS Shower Shrouds	37	Changing the shower fixture type for the SH-1 and SH-2 showers. This will delete the stainless-steel trim piece and leave the fixture as a button only. Change Reason - credit for the stainless steel.	Credit	\$	(9,812.00)		
30	2023-04-26	Approved	Dishier Board Revisions	44	Removal of dishier board requirements for sledge hockey. Change Reason - Sledge hockey was not part of requirements in design. Included in specifications by mistake.	Credit	\$	(9,638.00)		
31	2023-04-27	Approved	North Arena Trench Drain	39	Replace floor drain in North Arena with trench drain. Change Reason - Ice plant revisions in VE triggered changed to drain location due to system requirements.	VE Triggered	\$	3,272.00		
32	2023-04-27	Approved	BF-2 Bottle Filler	32	Revised bottle filler model. Change Reason - Incorrect bottle filler model specified.	Error and/or Omission	\$	1,368.00	\$	86.86
33	2023-04-27	Approved	Lobby Exhaust	42	RFI 169-The IFC documents showed some incorrect routing and extra ductwork that should have been deleted in design. The fan exhausting the restrooms was not the correct selection, however the updated selection is a less expensive fan.	Error and/or Omission	\$	1,591.00	\$	97.71
34	2023-05-06	Approved	Wired Arena Score Boards	25	Addition of wiring from scoreboard, shot clocks to time keepers box. Change reason - Scoreboards were spec'd as wired, but shown as wireless in drawings.	Error and/or Omission	\$	11,421.00	\$	586.85
35	2023-05-09	Approved	Geospan Alternative	47	Geospan void form will be an acceptable alternative to cardboard void where pipes are supported and encased in concrete. Change Reason - Void forms have collapsed during pours causing damage to piping due to wet site conditions.	Discovered Condition	\$	4,997.00		
36	2023-05-09	Approved	Lobby Steel Framing	CD50	Additional structural steel framing required in main entry vestibule. Change Reason - Structural steel to complete steel framing around the entry vestibule omitted in tender documents. Discovered during shop drawing review, steel was in production requiring CD.	Error and/or Omission	\$	7,338.00	\$	372.16
37	2023-05-09	Approved	South Arena East Wall	32	Addition of steel studs to cover mechanical room floor currently protruding through metal panel of east wall of south arena. Change Reason - Bulkhead was removed during VE and moved metal paneling tighter to east wall. Was later discovered floor which was hidden by bulkhead. Steel studs move panel further into arena space to prevent floor showing.	VE Triggered	\$	29,238.00		
38	2023-05-23	Approved	HVAC Grills	21R2	Revision and clarifies grille sizes and types. Change Reason - HVAC contractor identified changes to improve building air flow. Grille sizes shown on plans were incorrectly shown.	Error and/or Omission	\$	1,415.00	\$	79.35
39	2023-05-24	Approved	Pop R Actuators Controls	46	Change for the water feature package adds control panel and power required. Change Reason - A control panel was missed during the coordination of the water feature package and is required for proper operation of the pop-R features.	Error and/or Omission	\$	8,118.00	\$	419.35

40	2023-06-25	Approved	Swimming Pool Pumps	43	Changes to electrical requirements resulting from mechanical shop drawings Change Reason - Changes to mechanical equipment as a result of value engineering	VE Triggered	\$	1,808.00	
41	2023-06-15	Approved	Arena Shower Revisions	55	Clarifies the layout and location of the arena shower heads. PCN to clarify the spacing and layout of the shower heads in the arena change rooms. We will also be deleting a few shower heads so this should result in a small credit. Let me know if you require any additional information.		\$		
42	2023-06-15	Approved	Trichloramine Exhaust Clarifications	23	Change Reason - Insufficient detail on tender drawings.	Error and/or Omission	\$	34,475.00	2,142.91
43	2023-06-15	Approved	UH-03	54	Change for UH-03 unit heater Change Reason - The unit that was originally specified was a more industrial look - it looks like we thought that room was more of a back of house room. The change provides a more aesthetically appropriate unit.	Error and/or Omission	\$	1,400.00	88.57
45	2023-07-17	Approved	Pool and Slide Rail Revisions	34R1	Revision to railings in aquatic centre. Credit for some railing not needed and layout Change Reason - Pickets added to railing for safety	Error and/or Omission	\$	9,879.00	487.54
46	2023-07-14	Approved	Base Shoe Detail	35	Change Reason - Omission of grounding of the railing at the SW corner stair.	Error and/or Omission	\$	3,283.00	245.69
47	2023-07-14	Approved	Structural Underlab Piping	CD70	Pool piping encasement details did not apply for various conditions once detailed layout was complete. Encasements are significantly larger than originally shown.	Error and/or Omission	\$	63,067.00	5,732.99
48	2023-07-14	Approved	Mechanical Underlab Piping	CD53R1	Change Reason - Error as the extent of concrete needed to encase all of the piping was not fully described at time of tender	Error and/or Omission	\$	79,755.00	4,869.35
49	2023-07-20	Approved	Poly Carbonate Girt Revision	CD56	Revision of structural steel girts supporting glazing frames along north side of Arena. Change Reason: Girt supporting glazing frames were not close enough to the frame to support it. Final location was not able to be coordinated until shop drawing reviews.	Error and/or Omission	\$	8,258.00	320.77
50	2023-07-21	Approved	Skylight Details	48	Changes to skylight framing details due to decreased skylight size in VE	VE Triggered	\$	5,979.00	
51	2023-07-21	Approved	AHU5 & AHU6	40/50	Errors requiring changes to AHU 5 and AHU 6. The changes involve changing the units to intake air from outdoor air as well as increase air flow. The units specified did not align with the sequence of operations intended for the units.	Error and/or Omission	\$	96,330.00	6,743.12
52	2023-07-24	Approved	Current Collector	62	During addendum, addition of current collectors to all pumps on the hot tub but missed the discharge side of the hot tub jet pump (PP-311).	Error and/or Omission	\$	4,418.00	200.09
53	2023-08-08	Approved	EF-09 Revision	71	revising the EF-09 elevator fan per attached MCR-21. This should be a low or possibly zero cost change. The reason for the change is that the elevator shop drawings indicate lower heat load information than allowed for at design.	Credit	\$	(530.00)	
54	2023-09-24	Approved	Chemical Transfer Pump and Flocculant Station	63	DELETE: unneeded Chemical Transfer Pump (p033) and relocate Flocculant pumps to near filtration pumps, contractor to wall mount the pumps and ADD: a chemical containment tray for flocculant carboys - quantity 2. Model Uline, Model #H-4865, 25"x25" x 6" high sides, 12gal capacity, or similar.	Error and/or Omission	\$	522.00	33.68
55	2023-08-11	Approved	HVAC Clarifications & Revisions	50R1	Reason for changes: -Louvers: Louvers were identified through recent discussion with Architecture as not needed in natatorium on R/A as there is a perforated screen in front of the duct openings already. Louvers for the refrigeration and boiler mech rooms were missed during final design coordination. -Fan: Fan EF-12 was specified, but not shown in janitor room in arena. EF-07 was specified and controls were clarified via addendum, but actual fan was not located/coordinated previously. -Grilles/diffusers: There were inconsistencies with the grille/diffuser tags and in some cases, sizes and quantity. Some of these were previously identified in the response to RFI-100. Additionally, linear slot diffusers didn't have the number of slots identified - this was flagged in shop drawing review comments.	Error and/or Omission	\$	4,507.00	242.97
56	2023-04-14	Approved	Housekeeping Pad Reinforcement	65	Addition of reinforcing for all housekeeping pads in basement mechanical area. Change Reason: No reinforcing was noted in the IFT drawings. Reinforcing is required for long term longevity and support of equipment located on housekeeping pads.	Error and/or Omission	\$	18,313.12	1,321.89
57	2023-08-24	Approved	UH and Fire Damper Revisions	67	Through the review of RFI 245 the mechanical consultant realized that some fire dampers that were noted in the IFT drawings were not required for the project. The wall with the fire dampers noted by AME is considered a 2 hour rated wall as it supports the floor above. The mechanical consultant assumed it was a fire separation that would require fire dampers, but it is not. It is just a fire rated wall but not a fire separation. Thus we have noted to remove the fire dampers for a credit. The second part of the change is to relocate some unit heaters for the arena change rooms. The intent is to move those unit heaters into the rooms they serve to allow them to circulate air in the space better as in the IFT drawings the Unit heaters were located in the adjacent corridor which is not ideal. Moving the units from the outside of the corridor to into the change rooms will require some additional masonry to close up the space where the unit heaters were originally located.	Error and/or Omission	\$	1,533.00	92.32
58	2023-08-24	Approved	RFI 263 Girt Revision	CD79	The structural engineer had issued a sketch with the wrong elevation for a beam in the vestibule. The elevations in sketch SSK22 show the bottom of HSS in this area when it should be referencing the top of HSS. Due to this, the vestibule girts did not line up and a field modification was required. The structural steel was ordered and delivered according to sketch SSK22. The steel supplier needed to modify the structural steel in the field to correct the issue.	Error and/or Omission	\$	10,575.00	546.27

59	2023-08-22	Approved	Depth Marker Tiles	61	The post tile contractor offered a credit to switch the large format depth marker tiles from the Agrob Buchthal supplier to the Dattile supplier - images show below. We recommend taking this as it adds to be a credit to the project. Both are common in pools across Canada with the Dattile version being the most widely used. We have used both and most recently at the Drayton Valley Pool these tiles provide to most cost effective. One other advantage is that the Dattile are made in the USA whereas the Agrob come from Germany thus if you had any tile issues in the future it is likely easier to get the Dal	Credit	\$	(8,122.00)	
60	2023-08-22	Approved	Clerestory Aluminum	CD82	Bent aluminum closure panel for clerestory glazing in Aquatica and Arena Change Reason - SI/PCN was issued anticipating small change or even credit. Price received was substantial and PCN cancelled. Work had already begun on SI, cost is for material and labor to revert to IFC drawing. SI and PCN were issued 45 Calendar days apart	Delay in Process	\$	16,261.00	804.66
61	2023-09-06	Approved	Tiling Revisions	46	The revisions for colour and size coordination Change Reason - TL13 colour of the original supplied tile was very green compared to the tile sample that the architect had acquired pre tender. Architect deemed grey is an improvement for overall wearability as the large scale white tile could have been a possible target for graffiti. A slight change in tile size meant there is slightly more waste and this in combination with the different tile has facilitated an increase in cost.	Discovered Condition	\$	13,337.00	657.01
62	2023-09-06	Approved	Change Room Block Revisions	69	Change in glass panel width affecting block wall and tile. Change Reason - Glass panels were change so no visible seams would be present and receive credit. Reduction required additional block wall and tile.	VE Triggered	\$	5,229.00	316.13
63	2023-09-08	Approved	Finish Updates	38R1	Revisions to paint and floor colors.	VE Triggered	\$	796.00	59.55
64	2023-09-08	Approved	Roof Ladder	76R1	Review location of the Aquatica roof ladder and add proper supports and blocking. Change Reason - ladder was relocated to hid from view from ground level.	Error and/or Omission	\$	560.00	83.36
65R2	2023-12-13	Approved	Civil Services	61R4	Addition of sanitary services to future Phase 2 site to minimize future impact on site.	Owner Requested	\$	44,621.72	
66R1	2023-10-18	Approved	Civil Services-Curbs	86R2	Addition of back of house roadway and parking lot to accommodate Phase 2.	Owner Requested	\$	26,293.00	
67R1	2023-10-18	Approved	Civil Services	87R2	Addition of back of house roadway construction to accommodate Phase 2.	Owner Requested	\$	83,466.00	
68	2023-09-14	Approved	Mechanical Screen Support	66	Addition of gravel stop at roof edge of mechanical parapet. Change Reason - required to ensure proper water drainage. Add steel stud framing and exterior sheathing at mechanical screen roof over South Arena. Change Reason - Exterior Insulation was not supported by framing at time of tender.	Error and/or Omission	\$	17,525.00	898.12
69	2023-09-15	Approved	SI32 Envelope Revisions	68	The revision of the parapet vapour barrier due to incorrectly specified vapor barrier due to vapor permeability, revision of metal cladding corners to custom corners not described in the bid package and additional of Thermaflex at glazing and translucent transitions due to thermal bridge as detailed.	Error and/or Omission	\$	35,118.00	1,740.83
70	2023-09-21	Approved	Communication Pedestal Conduit	57R1	Additional pedestal and conduit for Shaw Cable. Change Reason - During design it was assumed Sasktel and Shaw would share a pedestal for services.	Error and/or Omission	\$	1,562.00	84.79
71	2023-09-21	Approved	Thermostat Clarifications	83	Thermostat clarifications and relocations in arenas. Change Reason - Some thermostats were located on glass walls, required relocation. Some deletions were achievable.		\$		
72	2023-10-03	Approved	Delete Sprinklers in Aquatic Change Rooms	89	Deletion of unnecessary sprinkler heads in concealed ceiling above the aquatic centre change rooms.	Credit	\$	(15,828.00)	
73	2023-10-03	Approved	Louvre Coordination	84	Coordination for louvre and cross brace conflict.		\$		
74	2023-10-05	Approved	Wood Ceiling Revision	73R1	Add wood ceiling slats down change room corridor. Change Reason - Current wall frames reduced size during VE, addition of wood slats to cover space exposed by reduced frame.	VE Triggered	\$	21,419.80	
75	2023-10-11	Approved	Multi Purpose Room P003	85	Add a wall to fur out steel columns. Change Reason - deletion of the operable wall during the Value Engineering process and the incorporation of millwork to cover the space where the operable partition was located.	VE Triggered	\$	9,513.00	
76	2023-10-11	Approved	Arena Structural Fire Proofing	92	Addition of fire-resistant coating for two columns and beam in corridor A001. Change Reason - Precast floor supported on the column and beam rather than block wall like the rest of the floor. Requires fire coating.	Error and/or Omission	\$	8,551.00	338.43
77	2023-10-16	Approved	Millwork Revisions in P103A	88	Revision to millwork in lifeguard room. Change Reason - addition of solid surface to back of decks that are adjacent to glazing.	Error and/or Omission	\$	18,702.00	928.05
78	2023-10-26	Approved	ESC 014 Support	90	Structural support for future Phase 2 Connection. Change Reason - Glazing is supported by precast panels and tied to structural steel. Additional steel required to support glazing when Phase 2 connection removes panel.	Error and/or Omission	\$	8,108.00	485.24
79	2023-10-25	Approved	GMU Top Wall Restraint	96	Structural restrain for top of concrete block wall. Change Reason - omission of brace from metal deck roof to block wall.	Error and/or Omission	\$	15,631.00	808.80
80	2023-10-31	Approved	Fire Rated Star Closure	93	Fire rated assembly in soffit space. Change Reason - omission of wall in soffit space to ensure continuity of fire rating.	Error and/or Omission	\$	10,957.00	564.82
81	2023-11-01	Approved	ST 04b Door Sill	91	Sloped Angle for Door. Change Reason - Exterior doors have tee angle secured to foundation to support frame. Door ST04b is in a precast panel, requiring a longer angle to accommodate depth required.		\$		

82	2023-10-31	Approved	Type FF Fixture Replacement	97	Change to mounting hardware for multiple fixtures Change Reason - Change to wood ceiling details during value engineering	Value Engineering	\$	11,052.00		
83	2023-11-06	Approved	Fire Damper on Duct Through Stair 02	100	Install of fire damper through rated wall Change Reason - duct passing through a two-hour fire rated block wall did not have a damper in bid documents.	Error and/or Omission	\$	879.00	55.55	
84	2023-11-06	Approved	Dive Tower Step	99	Tiled concrete step added to both diving boards Change Reason - Fire rated diving boards were selected in Value Engineering to replace cast in place boards. Dive board assumes water level is below pool deck and ladders are not customizable. Water level is at top of pool edge.	Value Engineering	\$	4,294.00		
85	2023-11-17	Approved	Louvre Relocations	80	Shift location of mechanical louvre behind architectural louvre Change Reason - In the tender documents, the mechanical louvres were not located behind the architectural louvre and would have been exposed in cladding.	Error and/or Omission	\$	11,288.00	582.37	
86	2023-11-21	Approved	Spray Deck Drain Locations	94	Revised spray pad deck drain locations Change Reason - Spray deck drains were designed to drain into the sanitary system, revised drains to tie back into the recirculation system to minimize water waste.	Error and/or Omission	\$	11,880.00	820.94	
87	2023-11-28	Approved	AHU 3-6, MUA-1 Breaker Revisions	99 R1	Revision to electrical connections on AHU 3, 4, 5 and 6. Revision to electrical connections for MUA-1. Change Reason - During shop drawing review it was noted that the electrical connection requirements for air handling units 3-6 and make up air unit one were different than shown in the original tender documents. This change makes revisions to the documents to match the requirements noted in the shop drawings.	Credit	\$	(9,245.00)		
88	2023-12-06	Approved	Lighting Revisions	76	Deletion of lighting not required in enclosed space and small lighting revisions for spacing and type to be more appropriate.	Credit	\$	(4,135.00)		
89	2023-12-06	Approved	Future Lighting Pole Bases	75	Deletion of wiring and conduit for future exterior lighting. Conduit and pull strings will remain in contract for future work. Conduit and conductors were deleted for a credit due to alignment clarifications as part of RF1 #277.	Credit	\$	(3,080.00)		
90	2023-11-29	Approved	Light Pole Anchor Bolts	77	Clarification of anchor bolts required for future light pole bases.		\$			
91	2023-12-22	Approved	Tactile Warning & Safety Treads	96	Addition of tactile warning surface indicators in front of ST03 the main stair Change Reason - Original design included tactile warning tiles on stairs, value engineering removed the tiles in lobby and original tile specified was removed. Tactile warning recommended for accessibility.	Value Engineering	\$	4,454.00		
92	2023-12-22	Revised	North Arena Goal Inserts	107	Addition of goal post inserts no included in initial design.	Owner Request	\$	2,232.00		
<b>TOTAL INCREASES</b>								\$	1,247,990.10	
<b>TOTAL CREDITS</b>								\$	(5,264,459.71)	
<b>TOTAL CHANGE</b>								\$	<b>(4,016,469.61)</b>	
<b>CONTINGENCY</b>								\$	1,982,762.00	
<b>REMAINING CONTINGENCY</b>								\$	118,711.88	
<b>TOTAL INCREASES - ERRORS AND OMISSIONS</b>								\$	599,427.58	45,841.72



**TITLE:** Aquatic and Arenas Recreation Centre Accessibility Features

**DATE:** **November 2, 2023**

**TO:** Aquatic & Arenas Recreation Project Steering Committee

**PUBLIC:** X

**INCAMERA:**

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**RECOMMENDATION:**

That the Aquatic and Arenas Recreation Centre accessibility features be received as information and filed.

**TOPIC & PURPOSE:**

To present the findings of the accessibility features that have been incorporated into the design of the Aquatic and Arenas Recreation Centre.

**PROPOSED APPROACH AND RATIONALE:**

In the Aquatic and Arenas Centre, the following list of accessibility and barrier free features were incorporated into the design.

**Overall Facility:**

- Barrier Free parking stalls at the located next to the main entrance (9 stalls)
- Defined and raised walkways from the parking lot to provide a safe and protected pedestrian path of travel
- Automatic sliding main entrance doors for hand-free entry
- Push button auto doors operators for entry doors to major spaces such as rink viewing area & aquatics viewing areas
- Barrier free washrooms non-gendered washroom design
- Barrier free counter spaces at points of service (ie. reception desk, concession)
- Tactile/visual strips at stair & stair landings
- Elevator to second level

**Arenas:**

- Area ice surfaces dropped to provide clear sightlines from lobby viewing area
- Ramp down to arena dressing rooms
- 2 dressing rooms provided with barrier free washrooms & showers
- Dedicated wheelchair seating zones at upper levels of rink viewing areas

**Aquatics:**

- Pool basin dropped to provide clear sightlines from lobby viewing area
- Pool spectator viewing area with dedicated wheelchair seating zones
- Ramp down to pool change rooms
- Both gendered and universal/non-gender change rooms
- Accessible/barrier free options for lockers, change stalls, showers provided
- Zero entry/ramp to both the leisure pool/wave pool and to hot tub
- Portable pool lift accommodated for assisted entry into competition pool

**PUBLIC NOTICE:**

Public Notice pursuant to Public Notice Bylaw No. 24 of 2015 is not required.

Written by: Nykol Miller, Capital Projects Manager

Approved by: Director of Public Works & City Manager